

**PLANNING COMMISSION**  
**Mayville City Hall, 15 S. School Street, Mayville, WI**  
**February 13, 2023**

**MEETING MINUTES**

1. Call to Order and Roll Call.

Meeting was called to order at 5:00 p.m.

Members present: John Guinn, Andy Shoemaker, Bob Smith, John Gable, Gene Frings, Merlin Kahlhammer

Member Absent: Broc Fleischer

2. Approve Agenda.

Motion by Frings, Second by Gable, to approve the agenda. Motion Carried on a voice vote 6-0.

3. Citizen Comments

None

4. Approve the Minutes of the January 9, 2023 meeting

Motion by Shoemaker, Second by Frings, to approve the agenda. Motion Carried on a voice vote 6-0.

5. Discuss/Approve Site Plan Review for City of Mayville Well #4 at site address 615 Kekoskee Street, Parcel #251-1216-1434-001

Town and Country Engineering submitted site plans for review of the proposed Well #4 site improvements. Improvements included replacing the existing building on the site and making improvements to water treatment process. Kunkel Engineering did review the site plans and provided a letter with some recommendations for the city to consider. Bob Smith noted that this has gone through a review process with the Water/Wastewater Commission also. The Commission had reviewed the proposed plans and had made changes/recommendations at that time. One issue that was brought up was the lighting for the exterior of the building and it affecting the neighbors. Smith made a motion, second by Kahlhammer, to approve the site plans on the condition that the exterior lighting is addressed. Roll was taken and motion passed 6-0.

6. Adjournment.

Motion made by Frings, second by Gable, to adjourn the meeting at 5:10 PM. Motion passed 6-0.

Minute prepared by Nick Chikowski

LETKEWICZ  
PROPERTY  
ATTACHMENTS

---

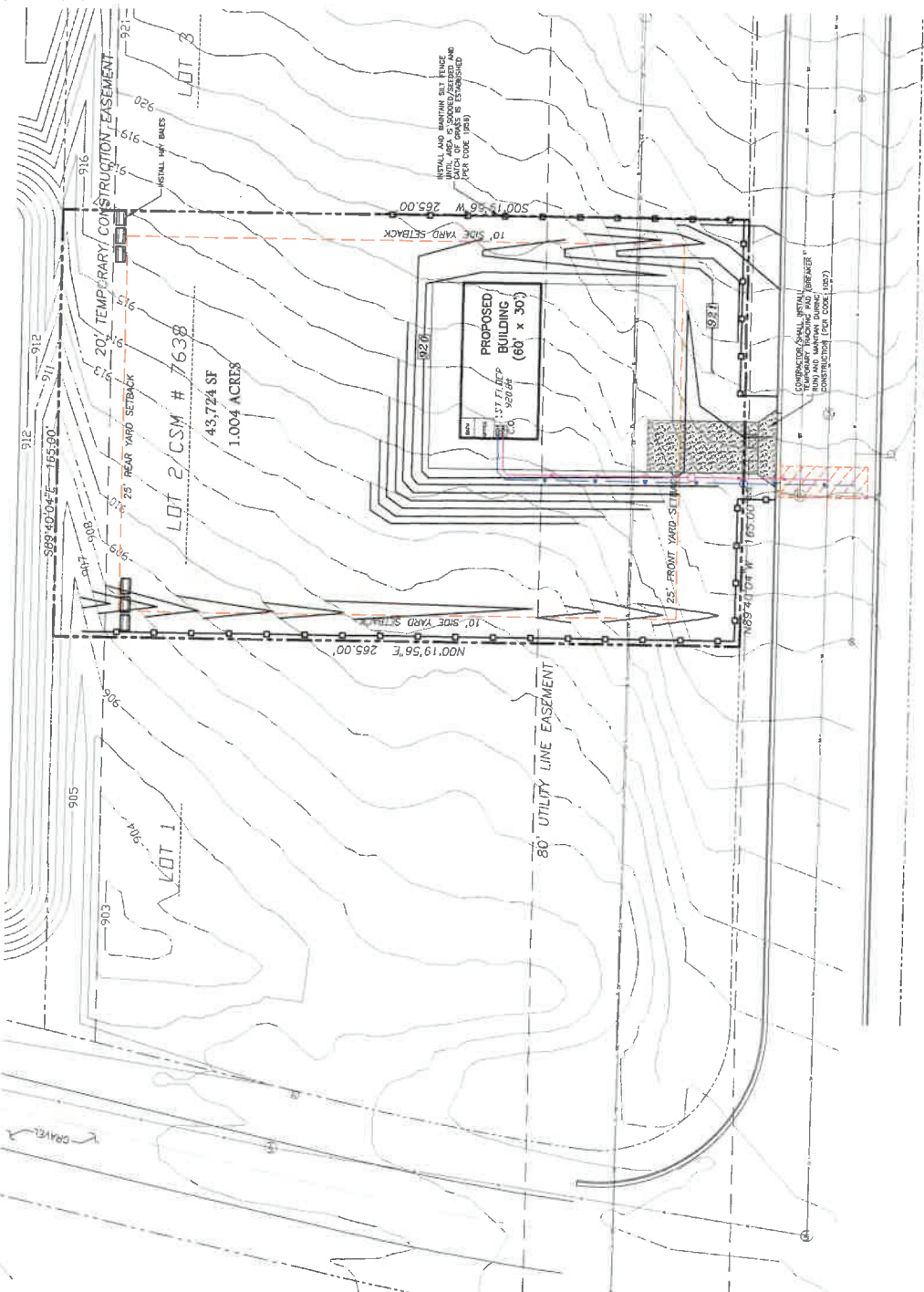






**EROSION CONTROL PLAN**

1. INSTALL COVER CROP OF OATS OR RYE ON ALL STOCKPILED MATERIALS.
2. MINIMIZE DISTURBED AREAS DURING CONSTRUCTION BY BRINGING AREAS UP TO FINAL GRADE AND SEEDING THEM AS SOON AS POSSIBLE.
3. INSTALL FILTER FABRIC SILT TRAPS ON ALL CATCH BASINS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO STARTING AND MAINTAINED THROUGH OUT CONSTRUCTION.
5. THE EROSION CONTROL BASINS MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE NEAR TECHNICAL STANDARDS. THE CONTRACTOR SHALL OBTAIN A COPY AND MAINTAIN IT ON-SITE DURING THE COURSE OF CONSTRUCTION.



- LEGEND**
- PROPERTY CORNER (THEORETICAL)
  - REAR FOUND
  - MANHOLE FOUND
  - SITE PROPERTY LINE
  - FUTURE RIGHT-OF-WAY LINE
  - BUILDING SETBACK
  - DITCH
  - EXISTING FENCE
  - EXISTING DRIVE/ROAD
  - GRAVEL
  - CURB & INTERIMINARY PARKING LOT
  - EXISTING CONTOURS
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING UNDERGROUND GAS LINE
  - EXISTING UNDERGROUND PHONE LINE
  - EXISTING CATCH BASIN INLET
  - EXISTING CATCH BASIN MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING WATER VALVE
  - EXISTING SUMP PUMP
  - EXISTING LIGHT POLE
  - 60" VALVE
  - 48" VALVE
  - EXISTING TRANSFORMER
  - EXISTING CLAYST
  - HAY BALES (PER CODE 1052)
  - SILT TRAP (PER CODE 1056)
  - SILT TRAP (PER CODE 1058)

**EROSION CONTROL PLAN NOTES**

1. Check sheet from local jurisdiction for enclosed standard L100, including any updates.
2. Check sheet from local jurisdiction for enclosed standard L100, including any updates.
3. Check sheet from local jurisdiction for enclosed standard L100, including any updates.
4. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
5. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
6. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
7. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
8. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
9. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
10. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
11. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
12. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
13. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
14. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
15. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
16. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
17. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
18. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
19. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.
20. All erosion control measures shall be installed in accordance with VDOT 2-2 enclosed standard L100, including any updates.

**PROPOSED BUILDING**  
 60' x 30'  
 1,800 SF

**INSTALL AND MAINTAIN SILT FENCE AND CATCH BASINS**  
 PER CODE 1056

**CONCRETE CURB, FILTER FABRIC, TEMPORARY TRACKING AND BREAKER**  
 PER CODE 1057

**80' UTILITY LINE EASEMENT**

**20' TEMPORARY CONSTRUCTION EASEMENT**

**25' REAR YARD SETBACK**

**25' FRONT YARD SETBACK**

**10' SIDE YARD SETBACK**

**LOT 2/CSM # 7638**  
 43,724 SF  
 1.004 ACRES

**LOT 1**

**LOT 3**

**905**

**903**

**901**

**899**

**897**

**895**

**893**

**891**

**889**

**887**

**885**

**883**

**881**

**879**

**877**

**875**

**873**

**871**

**869**

**867**

**865**

**863**

**861**

**859**

**857**

**855**

**853**

**851**

**849**

**847**

**845**

**843**

**841**

**839**

**837**

**835**

**833**

**831**

**829**

**827**

**825**

**823**

**821**

**819**

**817**

**815**

**813**

**811**

**809**

**807**

**805**

**803**

**801**

**799**

**797**

**795**

**793**

**791**

**789**

**787**

**785**

**783**

**781**

**779**

**777**

**775**

**773**

**771**

**769**

**767**

**765**

**763**

**761**

**759**

**757**

**755**

**753**

**751**

**749**

**747**

**745**

**743**

**741**

**739**

**737**

**735**

**733**

**731**

**729**

**727**

**725**

**723**

**721**

**719**

**717**

**715**

**713**

**711**

**709**

**707**

**705**

**703**

**701**

**699**

**697**

**695**

**693**

**691**

**689**

**687**

**685**

**683**

**681**

**679**

**677**

**675**

**673**

**671**

**669**

**667**

**665**

**663**

**661**

**659**

**657**

**655**

**653**

**651**

**649**

**647**

**645**

**643**

**641**

**639**

**637**

**635**

**633**

**631**

**629**

**627**

**625**

**623**

**621**

**619**

**617**

**615**

**613**

**611**

**609**

**607**

**605**

**603**

**601**

**599**

**597**

**595**

**593**

**591**

**589**

**587**

**585**

**583**

**581**

**579**

**577**

**575**

**573**

**571**

**569**

**567**

**565**

**563**

**561**

**559**

**557**

**555**

**553**

**551**

**549**

**547**

**545**

**543**

**541**

**539**

**537**

**535**

**533**

**531**

**529**

**527**

**525**

**523**

**521**

**519**

**517**

**515**

**513**

**511**

**509**

**507**

**505**

**503**

**501**

**499**

**497**

**495**

**493**

**491**

**489**

**487**

**485**

**483**

**481**

**479**

**477**

**475**

**473**

**471**

**469**

**467**

**465**

**463**

**461**

**459**

**457**

**455**

**453**

**451**

**449**

**447**

**445**

**443**

**441**

**439**

**437**

**435**

**433**

**431**

**429**

**427**

**425**

**423**

**421**

**419**

**417**

**415**

**413**

**411**

**409**

**407**

**405**

**403**

**401**

**399**

**397**

**395**

**393**

**391**

**389**

**387**

**385**

**383**

**381**

**379**

**377**

**375**

**373**

**371**

**369**

**367**

**365**

**363**

**361**

**359**

**357**

**355**

**353**

**351**

**349**

**347**

**345**

**343**

**341**

**339**

**337**

**335**

**333**

**331**

**329**

**327**

**325**

**323**

**321**

**319**

**317**

**315**

**313**

**311**

**309**

**307**

**305**

**303**

**301**

**299**

**297**

**295**

**293**

**291**

**289**

**287**

**285**

**283**

**281**

**279**

**277**

**275**

**273**

**271**

**269**

**267**

**265**

**263**

**261**

**259**

**257**

**255**

**253**

**251**

**249**

**247**

**245**

**243**

**241**

**239**

**237**

**235**

**233**

**231**

**229**

**227**

**225**

**223**

**221**

**219**

**217**

**215**

**213**

**211**

**209**

**207**

**205**

**203**

**201**

**199**

**197**

**195**

**193**

**191**

**189**

**187**

**185**

**183**

**181**

**179**

**177**

**175**

**173**

**171**

**169**

**167**

**165**

**163**

**161**

**159**

**157**

**155**

**153**

**151**

**149**

**147**

**145**

**143**

**141**

**139**

**137**

**135**

**133**

**131**

**129**

**127**

**125**

**123**

**121**

**119**

**117**

**115**

**113**

**111**

**109**

**107**

**105**

**103**

**101**

**99**

**97**

**95**

**93**

**91**

**89**

**87**

**85**

**83**

**81**

**79**

**77**

**75**

**73**

**71**

**69**

**67**

**65**

**63**

**61**

**59**

**57**

**55**

**53**

**51**

**49**

**47**

**45**

**43**

**41**

**39**

**37**

**35**

**33**

**31**

**29**

**27**

**25**

**23**

**21**

**19**

**17**

**15**

**13**

**11**

**9**

**7**

**5**

**3**

**1**

SCALE: 1"=20'

20 0 20 40

FINAL - 3/2/2023

DRAWING NO. 4

**JAM CONSULTING, LLC**  
 840 CHALLENGER DRIVE - SUITE 140  
 Phone: 820/692-9668 Fax: 820/692-9613

**EROSION CONTROL PLAN**

DATE: 3/2/2023  
 SCALE: 1" = 20'  
 DRAWING NO. 4

PROJECT: [Blank]

DATE: [Blank]

BY: [Blank]

DESCRIPTION: [Blank]

REVISIONS: [Blank]

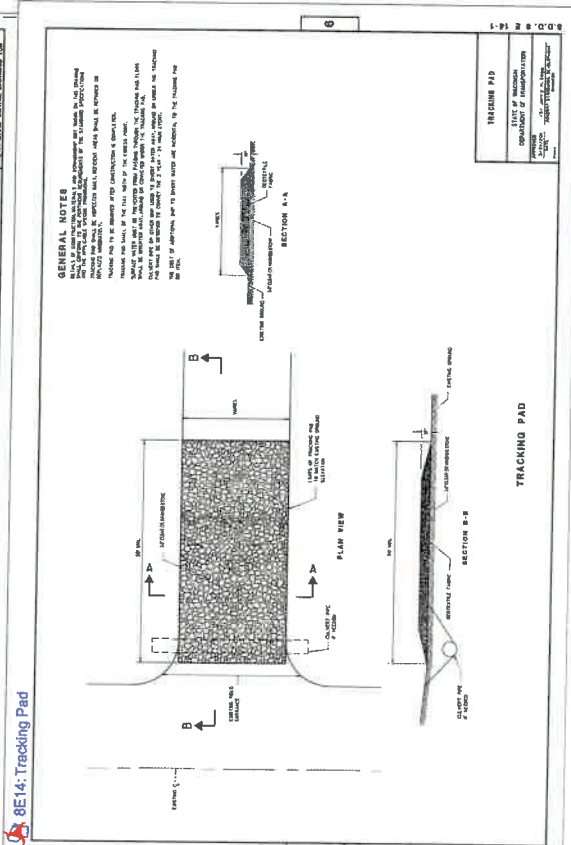
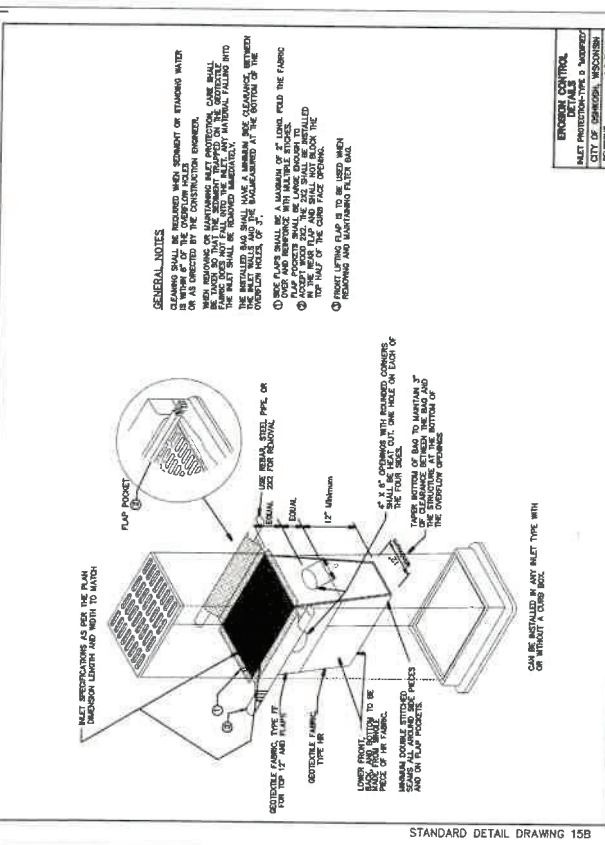
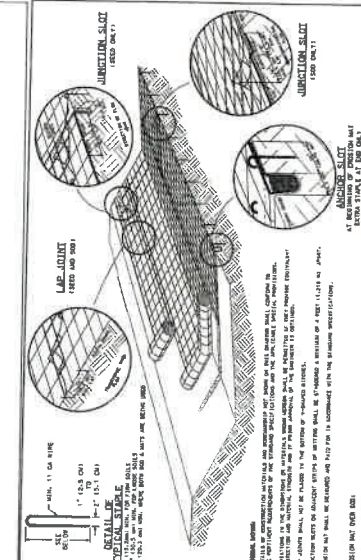
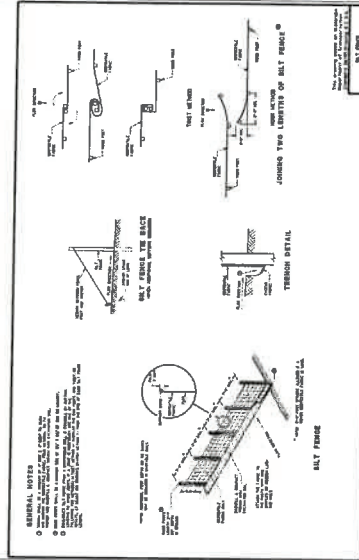
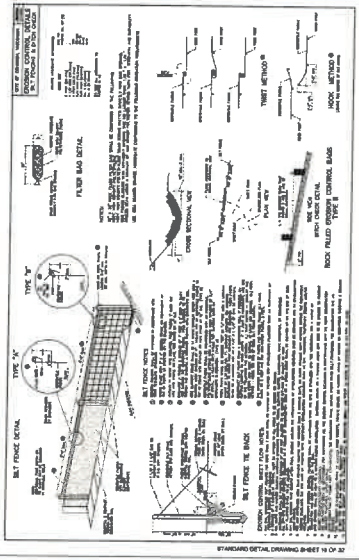
PROJECT NO.	DATE	BY
PROJECT REVIEW		
NO.	DATE	BY
DESCRIPTION		
REVISIONS		

EROSION CONTROL DETAILS

J&M CONSULTING, LLC  
 840 CHALLENGER DRIVE - SUITE 140  
 GREEN BAY, WI 54311-8804  
 PHONE: 920/992-9006 FAX: 920/992-9019

DRAWN BY: MJE  
 DATE: 10/28/22  
 SCALE: N.T.S.  
 DRAWING NO. 5

FINAL SITE PLAN 10/28/22



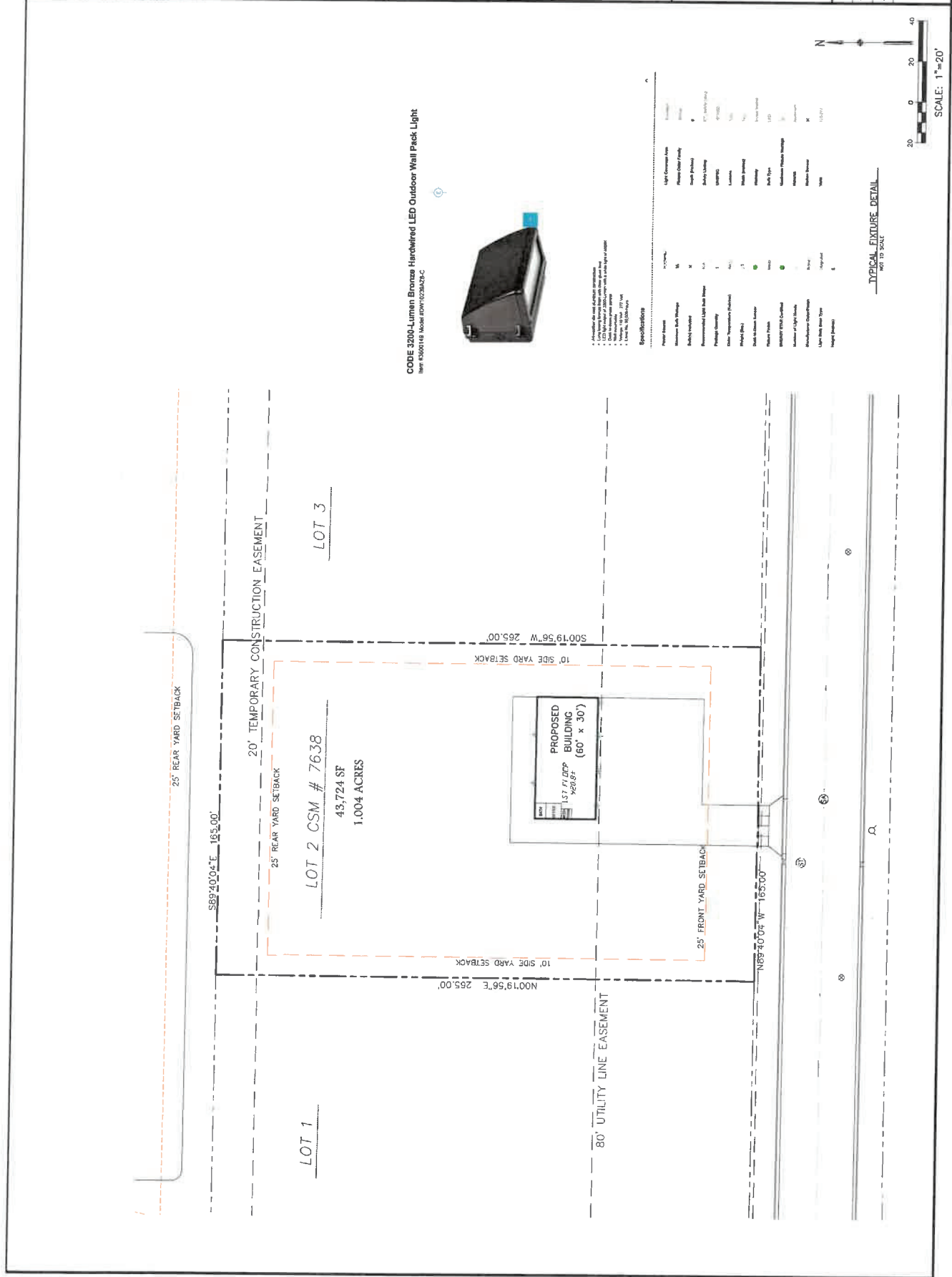
NO.	DATE	BY:	REVISIONS
1			Project Review
2			
3			
4			
5			

RELEASE DATE BY:  
Project Review

**LIGHTING PLAN**

JMK CONSULTING, LLC  
CONSULTING ENGINEERS  
Phone: 920/592-8800 Fax: 920/592-9013  
640 CHALLENGER DRIVE SUITE 140  
GREENSBORO, NC 27409-5251

DRAWN BY: MJE  
DATE: 3/2/2023  
SCALE: 1" = 20'  
DRAWING NO. **6**



CODE 3200-Lumina Bronze Hardwired LED Outdoor Wall Pack Light  
Item #800418 Model #0723AC2C



- 1. All fixtures shall be luminaire compatible.
- 2. All fixtures shall be hardwired with 120V AC.
- 3. All fixtures shall be weather resistant.
- 4. All fixtures shall be UL listed.
- 5. All fixtures shall be 120V AC.
- 6. All fixtures shall be 100W.

**Specifications**

Item	Description	Quantity	Unit
1	LED Outdoor Wall Pack Light	1	Each
2	LED Outdoor Wall Pack Light	1	Each
3	LED Outdoor Wall Pack Light	1	Each
4	LED Outdoor Wall Pack Light	1	Each
5	LED Outdoor Wall Pack Light	1	Each
6	LED Outdoor Wall Pack Light	1	Each
7	LED Outdoor Wall Pack Light	1	Each
8	LED Outdoor Wall Pack Light	1	Each
9	LED Outdoor Wall Pack Light	1	Each
10	LED Outdoor Wall Pack Light	1	Each

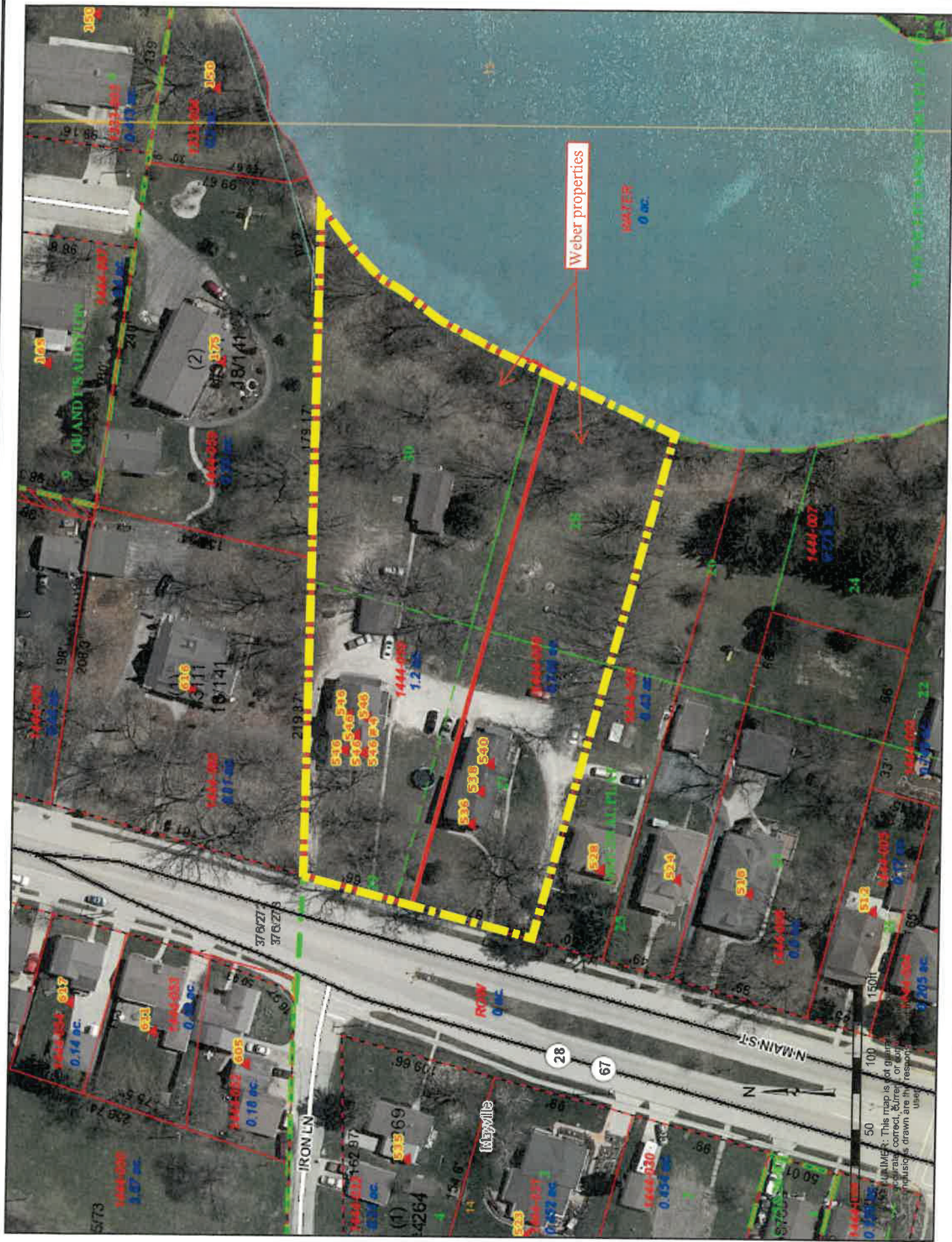
TYPICAL FIXTURE DETAIL  
NOT TO SCALE

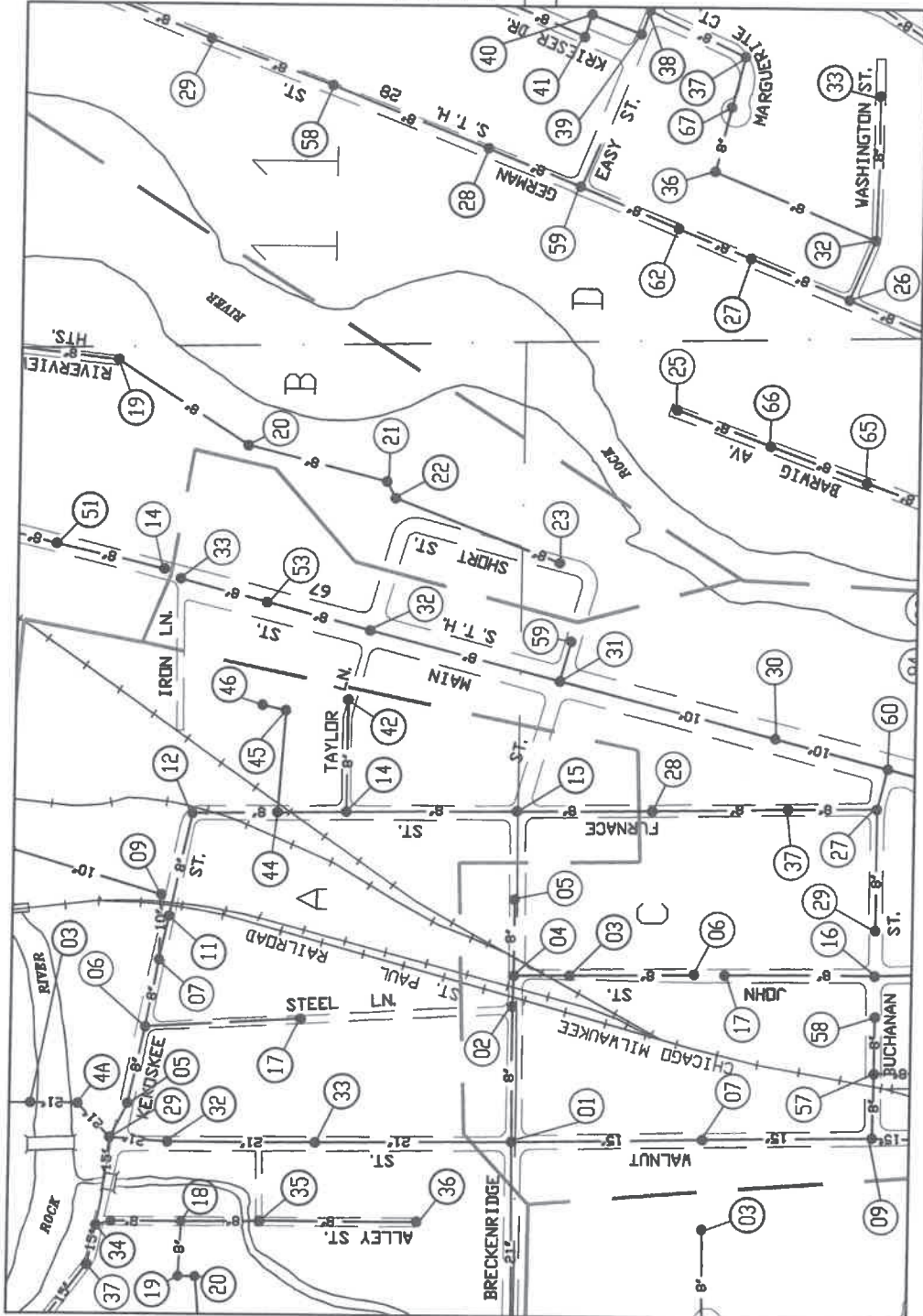




WEBER  
PROPERTIES  
ATTACHMENTS

---





LOCATOR MAP

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16
17	18	19	20
21	22	23	
24	25	26	

LEGEND

— 8" — LINE AND LINE SIZE

— 72 — LINE AND MANHOLE

— 72 — MANHOLE NUMBER



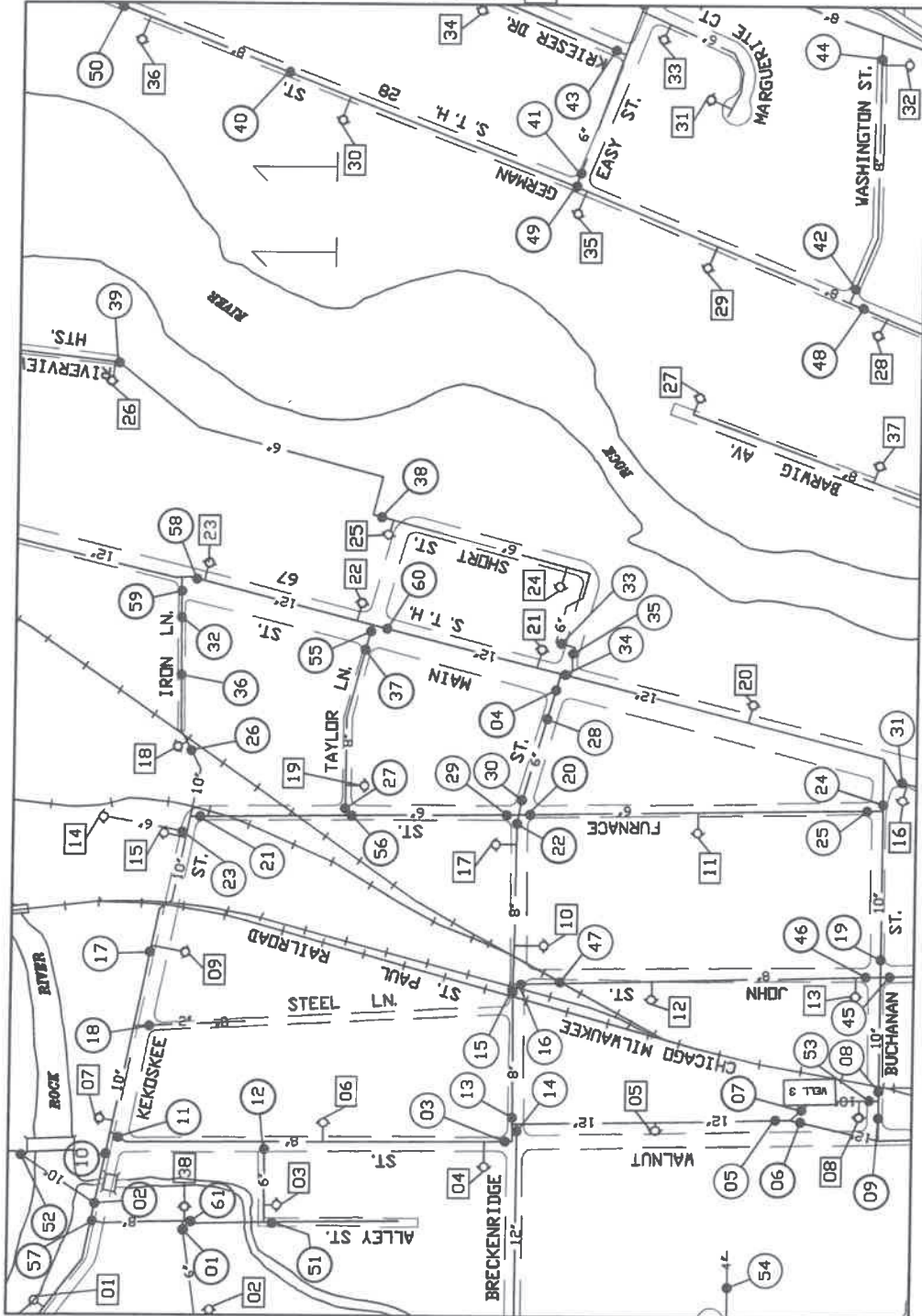
SANITARY SEWER SYSTEM  
CITY OF MAYVILLE  
MAYVILLE, WISCONSIN

REVISED 10/19/20



**KUNKEL**  
engineering  
group

107 Parallel Street  
Beaver Dam, WI 53916  
(920)356-9447  
Fax (920)356-8454



LOCATOR MAP

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16
17	18	19	20
21	22	23	
24	25	26	

LEGEND

- 6" — WATERMAIN AND LINE SIZE
- WATER MAIN AND VALVE
- WATER MAIN VALVE NUMBER
- 21 ○ HYDRANT NUMBER
- 33 ○ PRIVATE HYDRANT NUMBER
- P-15 ○ TANKS AND WELLS

# WATER SYSTEM CITY OF MAYVILLE MAYVILLE, WISCONSIN



REVISED 10/19/20



**KUNKEL**  
engineering  
group

107 Parallel Street  
Beaver Dam, WI 53916  
(920)356-9447  
Fax (920)356-9454

Standards No. 125C entitled, Film Photographic and Film Photographic Processed (for permanent record use).

I hereby certify that I have on this 21st day of October, 1992, microphotographed the documents on this card in accordance with standards established by S228.03(1) Wis. Stats. and with established procedures.  
Doris Westra Register of Deeds, Dodge County  
Cheryl Frederick Camera Operator

TITLE CONSULTANTS, INC.  
211 SOUTH SPRING STREET, P.O. BOX 07,  
BEAVER DAM, WI 53910  
414-887-1005

VOL 756 PAGE 39

765750 16

Office of Register of Deeds  
Dodge County, WI  
RECEIVED FOR RECORD

OCT 20 1992

at 8:10 o'clock A.M.

Doris Westra  
DORIS WESTRA - Register

DRIVEWAY EASEMENT

THIS INDENTURE, made this 16th day of October, 1992, between Gary R. Weber and Bernard W. Krebsbach, Grantor, and D'Arcy J. Gravelle and Jane Y. Gravelle, husband and wife, Grantee:

WHEREAS, the Grantor is the owner of following described real estate situated in Dodge County, Wisconsin, to-wit:

The South 87 feet of Lots 27 and 28 of Block 21, of the Original Plat of the Third Ward, City of Mayville, Dodge County, Wisconsin.

4  
32

WHEREAS, the Grantee is the owner of the following described real estate situated in Dodge, Wisconsin, to-wit:

The North 50 feet of Lot 25 and the North 50 feet of Lot 26; All in Block 21, Original Plat of the City of Mayville, Dodge County, Wisconsin.

WHEREAS the property of the Grantor and the property of the Grantee adjoin one another.

WHEREAS, the Grantor has agreed, in consideration of the sum of One Dollar (\$1.00) and other valuable and sufficient consideration, to grant to the Grantee a right of way over a portion of the Grantor's above described real estate.

NOW, THEREFORE, in pursuance of said agreement, the Grantor hereby grants to the Grantee, their heirs, representatives and assigns, the right for them and their tenants, servants, visitors and licensees, at all times hereafter with or without vehicles of

Returned to:

TITLE CONSULTANTS, INC.  
211 SOUTH SPRING STREET, P.O. BOX 07,  
BEAVER DAM, WI 53910  
414-887-1005

VOL 756 PAGE 43

765751 14

Office of Register of Deeds

any description for purposes of ingress and egress to and from the real estate hereinbefore described, to pass and repass over a strip of land fifteen (15) feet wide, the driveway running in an east and west direction at a length of 130 feet, more or less, along the south line of the said Lot 27 and running along the north line of the said Lot 25; said strip of land is shown on the map attached hereto and made a part hereof as Exhibit "A". This strip of land runs along the existing driveway and is used for gaining access from North Main street to both the property of Grantor and the property of the Grantee and through this agreement the parties do hereby mutually agree to joint use of said strip of land or driveway area by both the Grantor and the Grantee, their respective heirs, representatives and assigns.

This easement is granted with the express condition that the Grantee, their heirs, representatives and assigns, must share equally with the Grantor in the cost of maintaining said driveway.

The Grantee, their heirs, representatives and assigns shall hold the Grantor, their heirs, representatives and assigns, harmless for any claims arising out of the use of this easement, except claims caused by the acts of the Grantor, their successors and assigns.

TO HAVE AND TO HOLD, the easement or right of way hereby

grant  
assign  
hands

*Gary I*  
*Bernax*

State  
County

1992,  
D'Arcy  
known  
acknow

(This

granted unto the Grantee, their heirs, representatives and assigns, as appurtenant to the lands of the Grantee.

IN WITNESS WHEREOF, the said parties have hereunto set their hands and seal this 16<sup>th</sup> day of October, 1992.

Gary R. Weber (SEAL)  
Gary R. Weber, Grantor

D'Arcy J. Gravelle (SEAL)  
D'Arcy J. Gravelle, Grantee

Bernard W. Krebsbach (SEAL)  
Bernard W. Krebsbach, Grantor

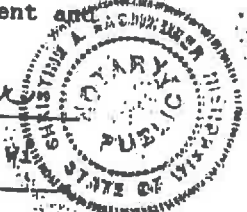
Jane Y. Gravelle (SEAL)  
Jane Y. Gravelle, Grantee

State of Wisconsin)  
County of Dodge ) ss.

Personally came before me this 16<sup>th</sup> day of October, 1992, the above named Gary R. Weber and Bernard W. Krebsbach and D'Arcy J. Gravelle and Jane Y. Gravelle, husband and wife, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Christine A. Bochhuber

Notary Public, Dodge County, WI  
My commission 11-26-95



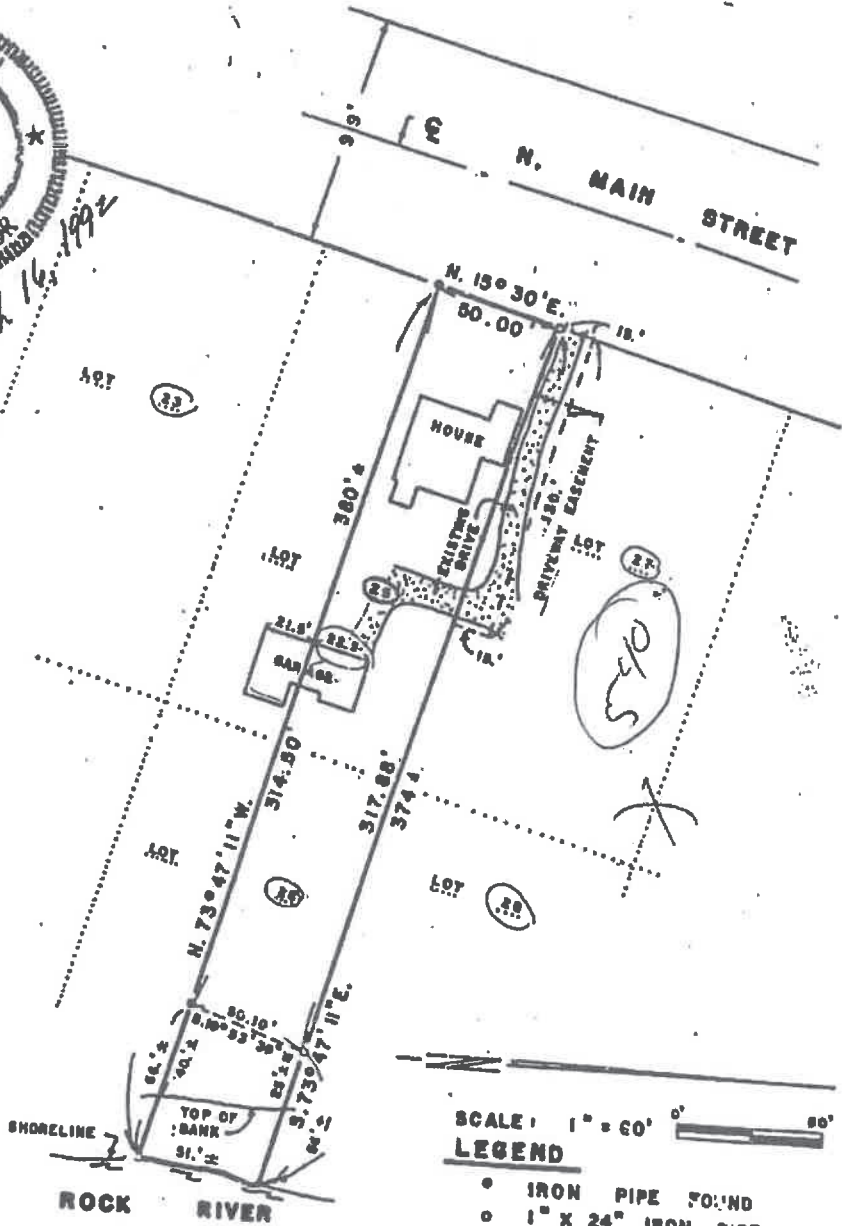
(This instrument was drafted by Thomas A. Schuessler).

A SURVEY OF THE NORTHERLY 50.00 FEET OF LOT 25 AND LOT 26 OF BLOCK 21 OF THE ORIGINAL PLAT, CITY OF MAYVILLE, DODGE COUNTY, WISCONSIN. SAID PARCEL HAVING THE BENEFIT OF A "DRIVEWAY EASEMENT" FOR INGRESS AND EGRESS. SAID EASEMENT BEING DESCRIBED AS THE SOUTHERLY 15 FEET OF THE WESTERLY 130 FEET OF LOT 27 OF SAID BLOCK 21.

OWNER: Gary R. Weber & Bernard W. Krebsbach  
 PARCEL ADDRESS: 328 N. Main Street  
 Mayville, WI



*March 16, 1992*



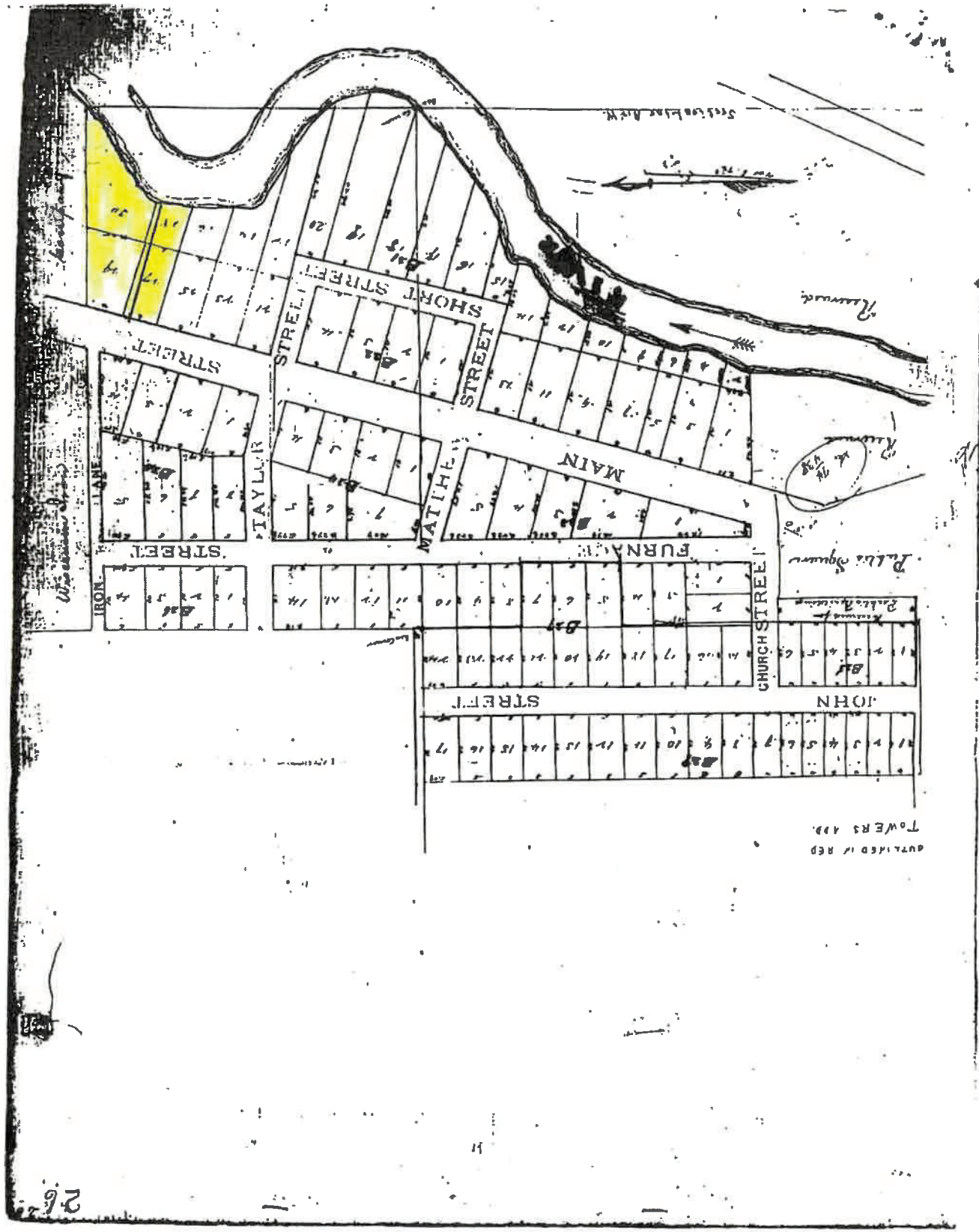
SCALE: 1" = 60'  
 LEGEND

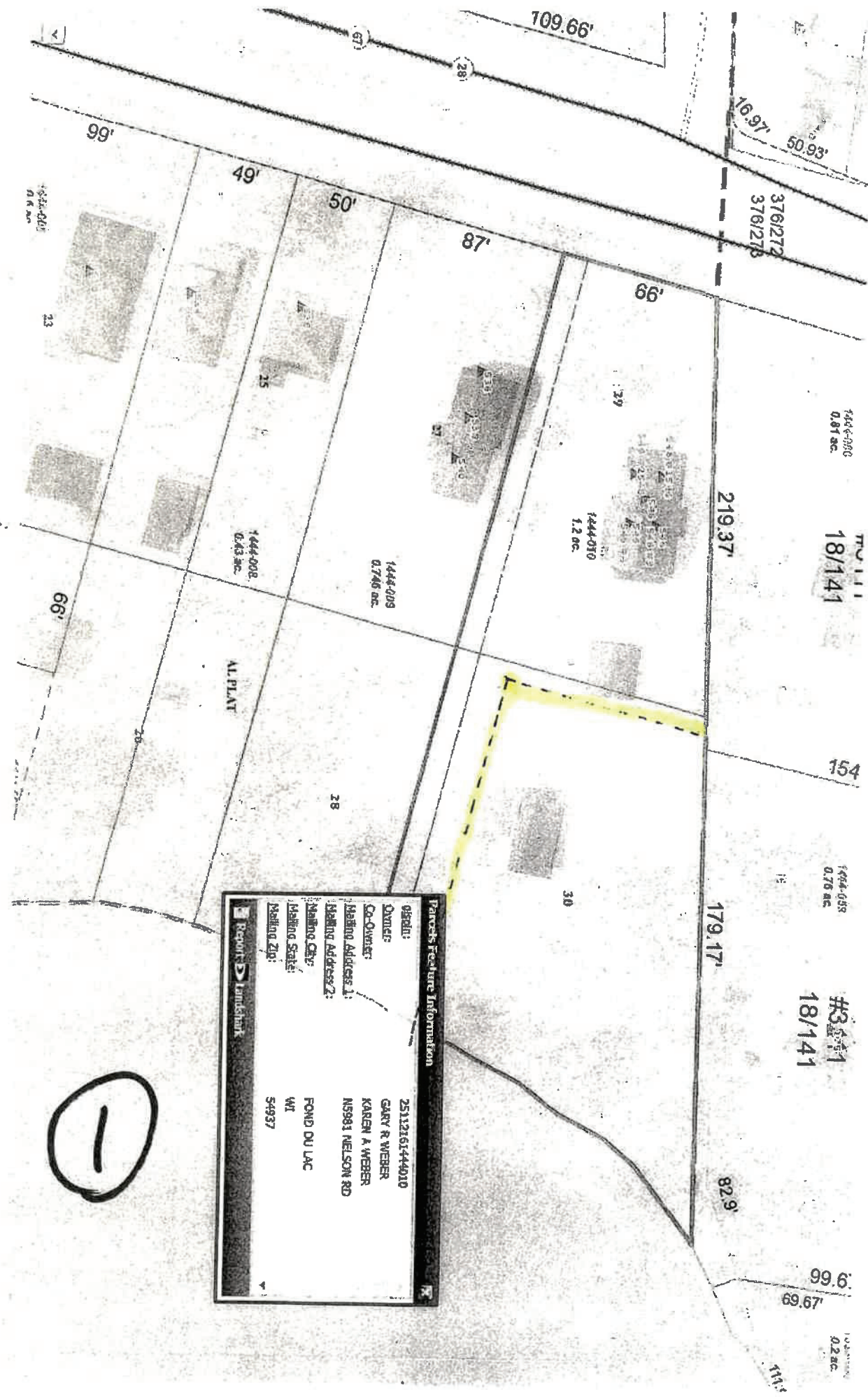
- IRON PIPE FOUND
- 1" X 24" IRON PIPE SET

JOB NO. 92-1088  
 SHEET 1 OF 1 SHEETS

13. Loan Charges. If the loan secured by this Security Instrument is subject to a law which sets maximum loan







**Parcel's Feature Information**

Parcel: 25112161444010

Owner: GARY R WEBER

Co-Owner: KAREN A WEBER

Mailing Address 1: NS981 NELSON RD

Mailing Address 2:

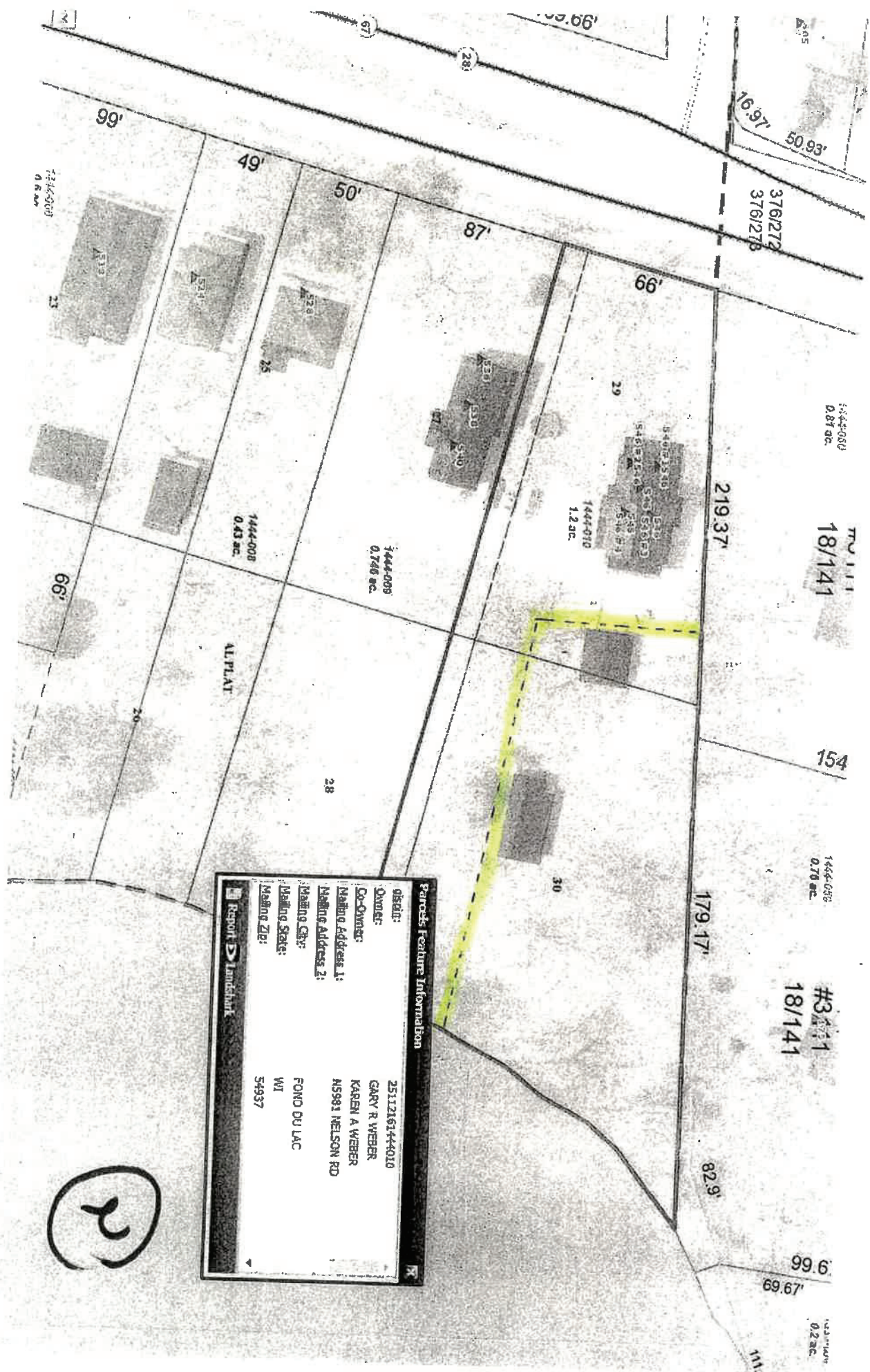
Mailing City: FOND DU LAC

Mailing State: WI

Mailing Zip: 54937

Report Landsbank

①

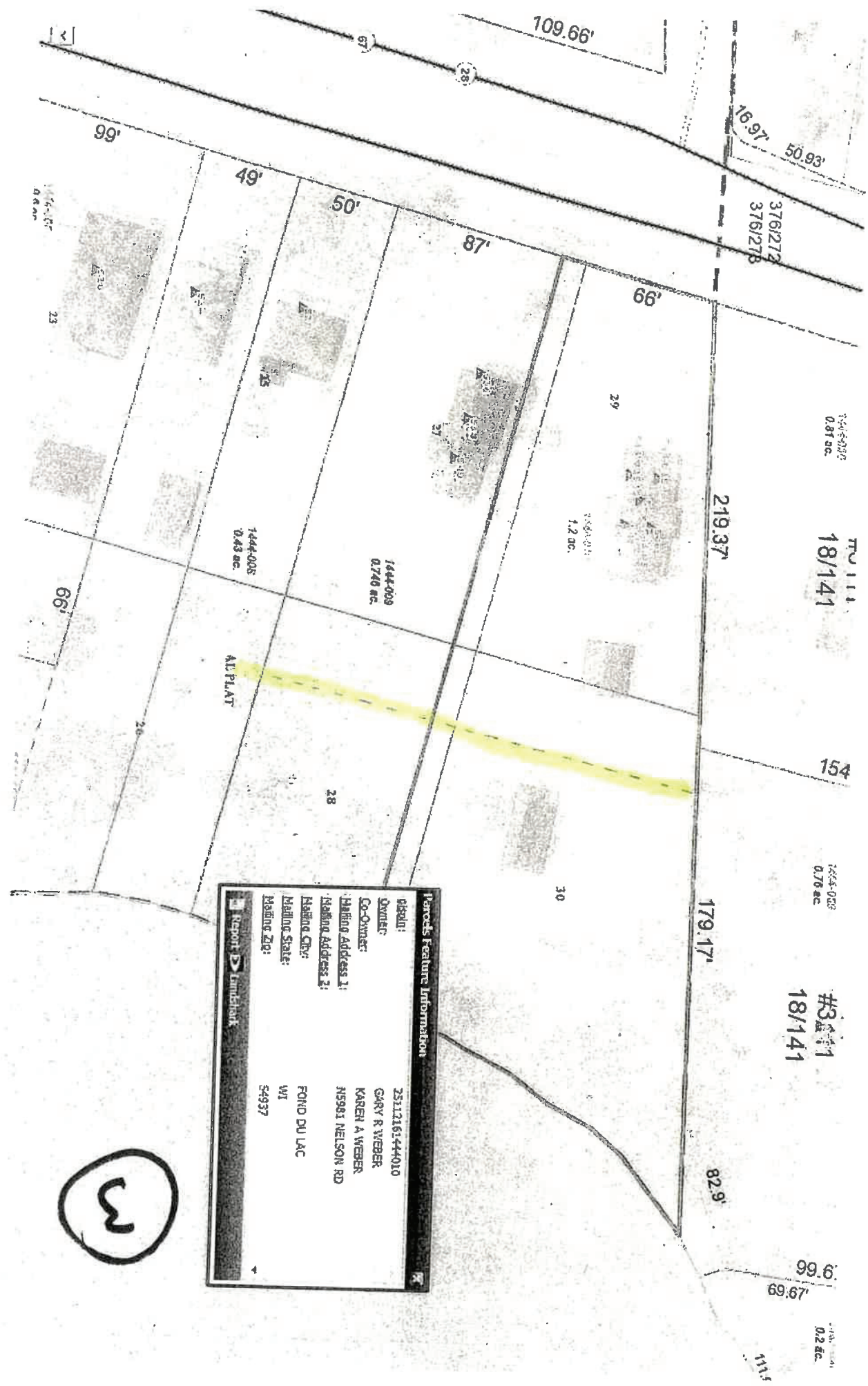


**Parcel Feature Information**

Parcel: 2511216144-010  
 Owner: GARY R WEBER  
 Co-Owner: KAREN A WEBER  
 Mailing Address 1: N5981 NELSON RD  
 Mailing Address 2:  
 Mailing City: FOND DU LAC  
 Mailing State: WI  
 Mailing Zip: 54937

Report > Landmark

2



**Parcel's Feature Information**

Parcel: 25112161444010  
 Owner: GARY R WEBER  
 Co-Owner: KAREN A WEBER  
 Mailing Address 1: 18981 NELSON RD  
 Mailing City: FOND DU LAC  
 Mailing State: WI  
 Mailing Zip: 54937

Report Landsat

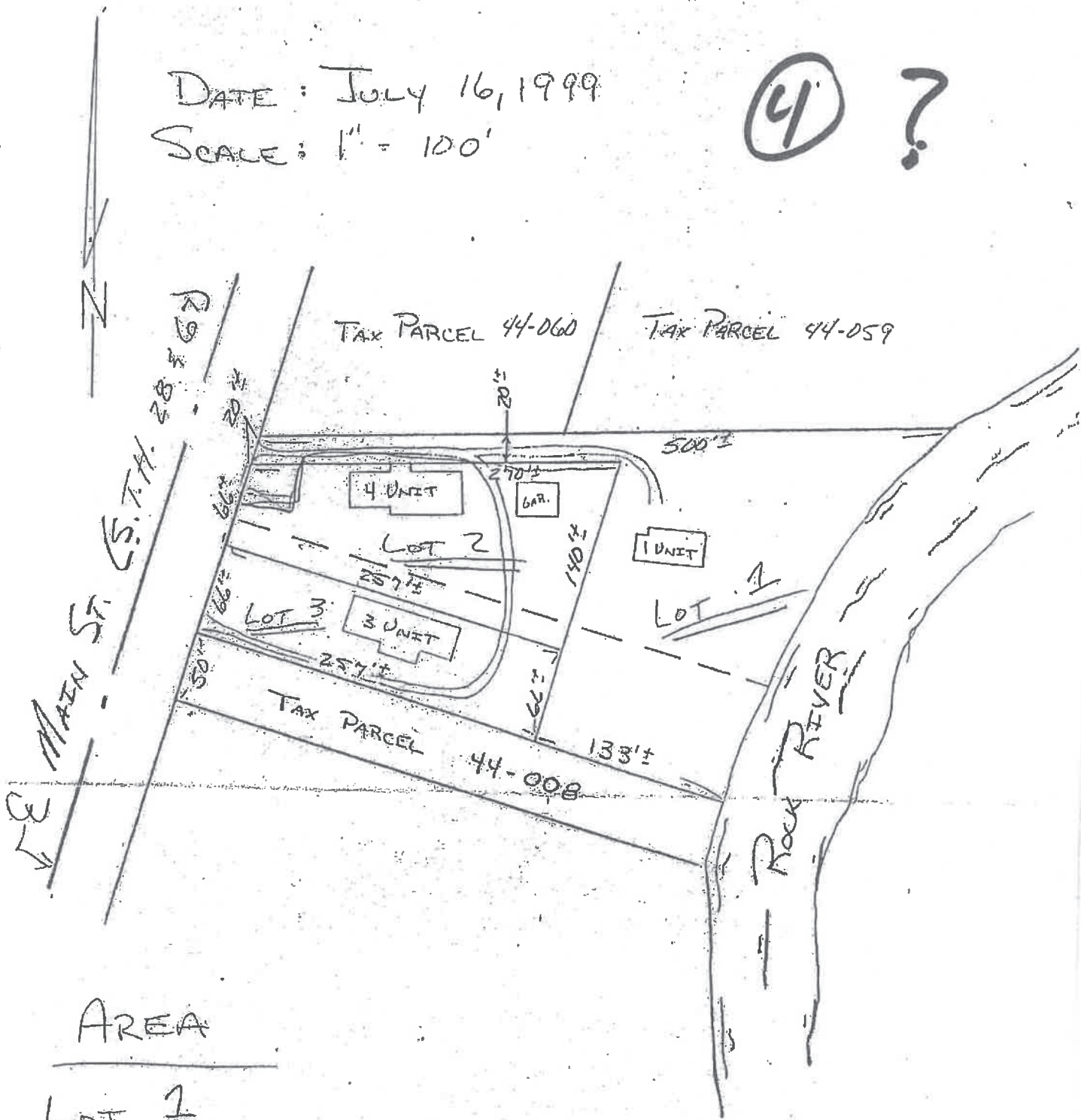
3

**The Sketch Map Shall Show The Following Information:**

- North arrow, date, and scale.
- Reference to a section corner.
- Approximate dimensions of the parcel(s) and easements.
- The location of existing buildings, water wells, sewerage systems, water courses, drainage ditches and other features pertinent to proper division.
- Setback or building lines required by any approving agency.
- The uses of the land adjacent to the property and existing roads, easements of record, public access to navigable waters, dedicated area and utilities.

DATE : July 16, 1999  
 SCALE : 1" = 100'

④ ?



AREA

- Lot 1
- Lot 2

