



KUNKEL
engineering
group

107 Parallel Street
Beaver Dam, WI 53916
920.356.9447
kunkelengineering.com

March 13, 2023

Ms. Anatasia Gonstead, Clerk
City of Mayville
15 S. School Street
Mayville, WI, 53050

**Re: Letkewicz Garage Building – River Knoll Industrial Park
Site Plan Review - Amendment**

Dear Ms. Gonstead:

Our office is in receipt of plans and related documents relative to site improvements in support of the proposed Letkewicz garage building. The project was previously reviewed via letter transmitted November 1, 2022, however, was tabled at the Plan Commission meeting due to being incomplete. The proposed garage is to abut Hilltop Drive, on Lot 2 of CSM No. 7638, within the City of Mayville River Knoll Industrial Park. Please consider this transmittal a review of the site civil and architectural plans for the proposed project.

The proposed project consists of the erection of a single story 1,800 SF garage on Lot # 2, a 1-acre parcel, recently created via CSM. The parcel is zoned M-2 General Manufacturing and the proposed garage building appears compliant with the uses prescribed within that zoning classification.

Materials reviewed in conjunction with the proposed Letkewicz garage building project were prepared by JMM Consulting, LLC and consist of the following documents:

- Civil Site Plans – Six sheets
 - Existing Conditions Plan
 - Site Plan
 - Grading & Drainage Plan
 - Erosion Control Plan
 - Erosion Control Details
 - Lighting Plan

The previous submittal included an architectural plan prepared by the Drexel Team including a floor plan and building elevations. Although not included within the latest submittal, architectural details will be again addressed herein for completeness.

Note: Review documents do not include site civil plans for either signage or landscaping. Same will be required to be submitted by the owner/applicant, as appropriate, prior to the initiation of construction.

SITE SUMMARY

The proposed garage building consists of a metal structure with exterior dimension of 60 feet in length by 30 feet in width, providing a floor area of approximately 1,800 square feet. The building is set back approximately 80 feet

north of the Hilltop Drive right-of-way (ROW) due in part to the presence of an existing utility easement. A second 20-foot temporary drainage easement runs along the entire rear of the exterior dimensions of the parcel.

The grading and drainage plan reflects that stormwater drainage will be directed away from the proposed structure in westerly and northerly directions. Overall lot drainage is directed to the north via drainage swales constructed along the east and west property lines.

The proposed project will also include the extensions of both a 4-inch PVC sanitary sewer service lateral and a 1-inch water service from existing municipal utilities within the Hilltop Drive ROW. The sanitary and water laterals will serve the restroom within the proposed garage. As construction will require excavation within the Hilltop Drive ROW, the City of Mayville Utility and Public Works Directors are required to be notified, in advance, to ensure construction and street restoration are compliant with City standards.

A single driveway entrance is proposed to extend from Hilltop Drive to a parking lot fronting the proposed building. The driveway approach will be constructed of concrete pavement with an entrance width of 30-FT and a throat width of 20-FT. The parking lot has dimensions of approximately 52 FT by 72 FT with a 12-FT driveway wrapping around the west and north sides of the building. Both the parking lot and driveway are reflected to be constructed of a 12-inch crushed aggregate base. However, the developer has verbally indicated that both the driveway and parking lot will be surfaced with asphalt millings. Same will be included as a condition of approval to ensure that dust will be suppressed and moreover that gravel will not be tracked onto the City street.

BUILDING

The plan for the proposed garage reflects a single story, gabled roof structure, constructed of metal panels with approximately 1,800 SF of floor area. The building will accommodate both an office and single restroom located within the NW corner of the structure with the balance being comprised of open floor space. Access to the building will be provided by three 10 FT by 12 FT overhead garage doors facing south and a single overhead door on the north side of the structure. Two entryway doors are called out on both the front and rear of the building.

The building structure will be erected upon a concrete slab anchored by a grade beam surrounding the building exterior. The eve height of the proposed garage is approximately 15 FT. The gabled roof will be constructed of steel panels as will the building facades. A stone wainscoting is reflected upon the front facing building façade.

EROSION CONTROL

Erosion control BMPs are proposed to be installed prior to the onset of construction and maintained until the site has been stabilized. The proposed BMPs include the following:

- Silt Fence- Silt fence is proposed to be installed downgradient of the area of site disturbance along the east, west and southern property lines.
- Tracking Pad – A single tracking pad, 20 FT in width, is to be installed at the location of the proposed driveway entrance from Hilltop Drive. The tracking pad will help to prevent construction debris from being deposited along Hilltop Drive.
- Ditch Checks – Hay bales are shown to be staked at the termination points for both of the north-south site drainage swales. The ditch checks will slow surface water flow and stem erosion of ditches until they are stabilized with vegetation.

The plans, Pages 4 and 5, address requirements for the erection, monitoring and maintenance of the erosion control BMPs. It is imperative that the contractor adhere to the requirements as stated within the plans in addition to all City and state requirements. As site grading activities impact less than 1-acre a NOI will not be required pursuant to WDNR NR-151 requirements.

LIGHTING

The proposed project site lighting is minimal and consists of affixing 6 bronze 35-watt LED fixtures to the building exterior. Four fixtures will be installed along the front of the building and two fixtures along the rear facade. The manufactured fixtures are shrouded and constructed to focus light in a downward direction and limit light emittance.

CONCLUSIONS and RECOMMENDATIONS

The site plan submittal supporting the Letkewicz garage building appears sufficient to allow the City of Mayville Plan Commission to conditionally approve the proposed project. Our recommendations for conditions to be incorporated into the approval consist of the following:

- 1) That plans and project details be provided to the City for review inclusive of the following:
 - Signage if same is proposed to be installed within the parcel
 - Landscaping, if same is to be included in conjunction with the project
- 2) That the contractor notifies both the City Utility Director and the Director of Public Works, in advance of the proposed utility construction within the Hilltop Drive ROW, to ensure compliance with City requirements for construction and restoration.
- 3) That both the schedule for erection and maintenance of the erosion control BMPs, as reflected on Pages 4 and 5 of the plans be followed throughout the construction process.
- 4) That both the driveway and parking lot be capped with a minimum of 2-inches of compacted asphalt millings. This measure will eliminate gravel from being tracked onto the street and limit dust during dry weather.
- 5) That the contractor maintains the Hilltop Drive ROW to ensure silt and construction debris are not tracked onto the pavement.
- 6) That City Public Works Department inspect the construction of the proposed driveway entrance onto Hilltop Drive.
- 7) Any other conditions as set forth by the City of Mayville Plan Commission.

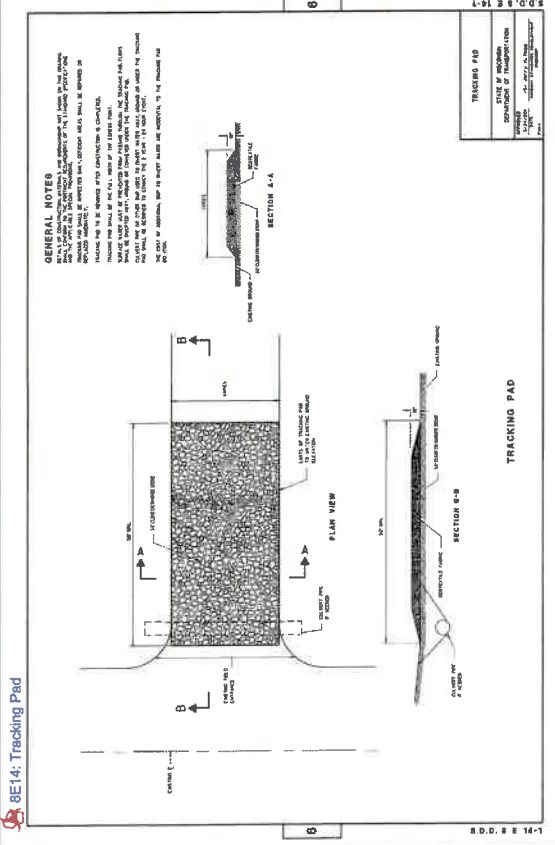
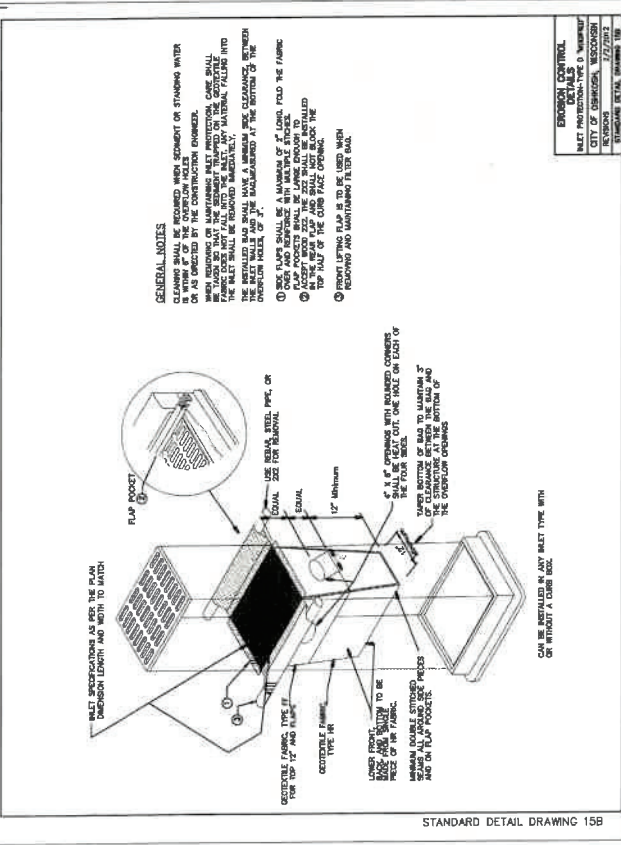
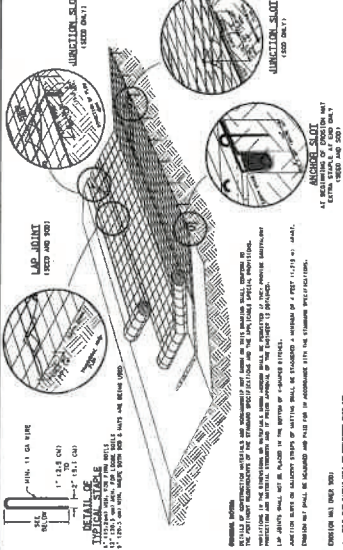
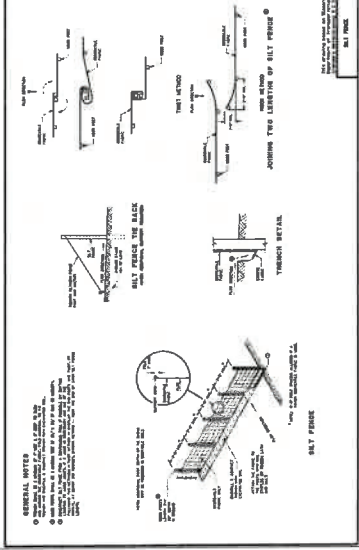
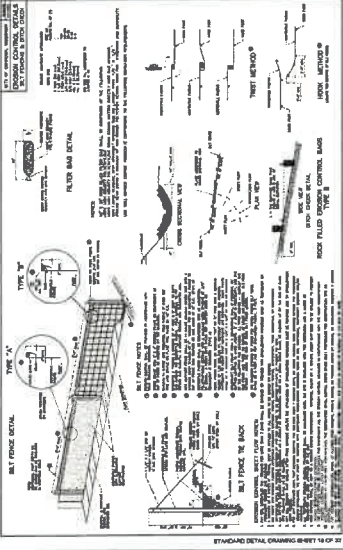
The above concludes our review of the plans and specifications for the Letkewicz garage building project. Should either you or representatives of the City Plan Commission have any questions please contact me.

Sincerely,

KUNKEL ENGINEERING GROUP

A handwritten signature in black ink, appearing to read "Don Neitzel", written in a cursive style.

Don Neitzel, General Manager

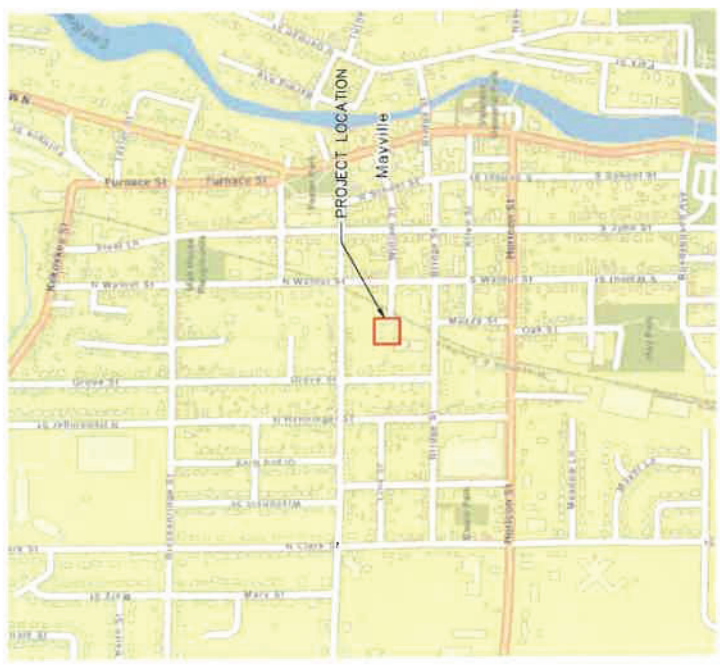


ST JOHN'S PLAYGROUND

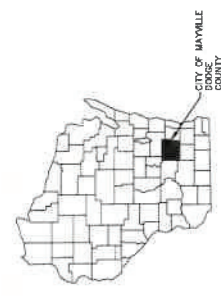
CITY OF MAYVILLE, WISCONSIN

PROGRESS DRAWING

Sheet Number	Sheet Title
C000	Cover Sheet
C100	Existing Conditions
C200	Demolition & Erosion Control Plan
C300	Overall Site Development Plan
C301	Detailed Site Development Plan
C900	Construction Notes
C901	Construction Details
C902	Construction Details



CITY OF MAYVILLE
 VICINITY MAP



N.T.S.

NOTICE:
 This site plan was prepared by the City of Mayville, Wisconsin, and is intended to provide information to the public. It is not intended to be used as a legal document. The City of Mayville, Wisconsin, is not responsible for any errors or omissions in this site plan. The City of Mayville, Wisconsin, is not responsible for any damages or injuries resulting from the use of this site plan. The City of Mayville, Wisconsin, is not responsible for any claims or lawsuits filed against it. The City of Mayville, Wisconsin, is not responsible for any claims or lawsuits filed against it. The City of Mayville, Wisconsin, is not responsible for any claims or lawsuits filed against it.



One Henry Chesel, Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1489
414 / 258 / 1500
414 / 258 / 0037 fax

www.graefusa.com

CONSULTANTS:

PROJECT TITLE:
ST. JOHN'S PLAYGROUND

520 BRIDGE ST. MAYVILLE, WI

ISSUE: NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-0197.10

DATE: 03-30-2023

DRAWN BY: CW

CHECKED BY: RCR

APPROVED BY: DSR

SCALE: AS SHOWN

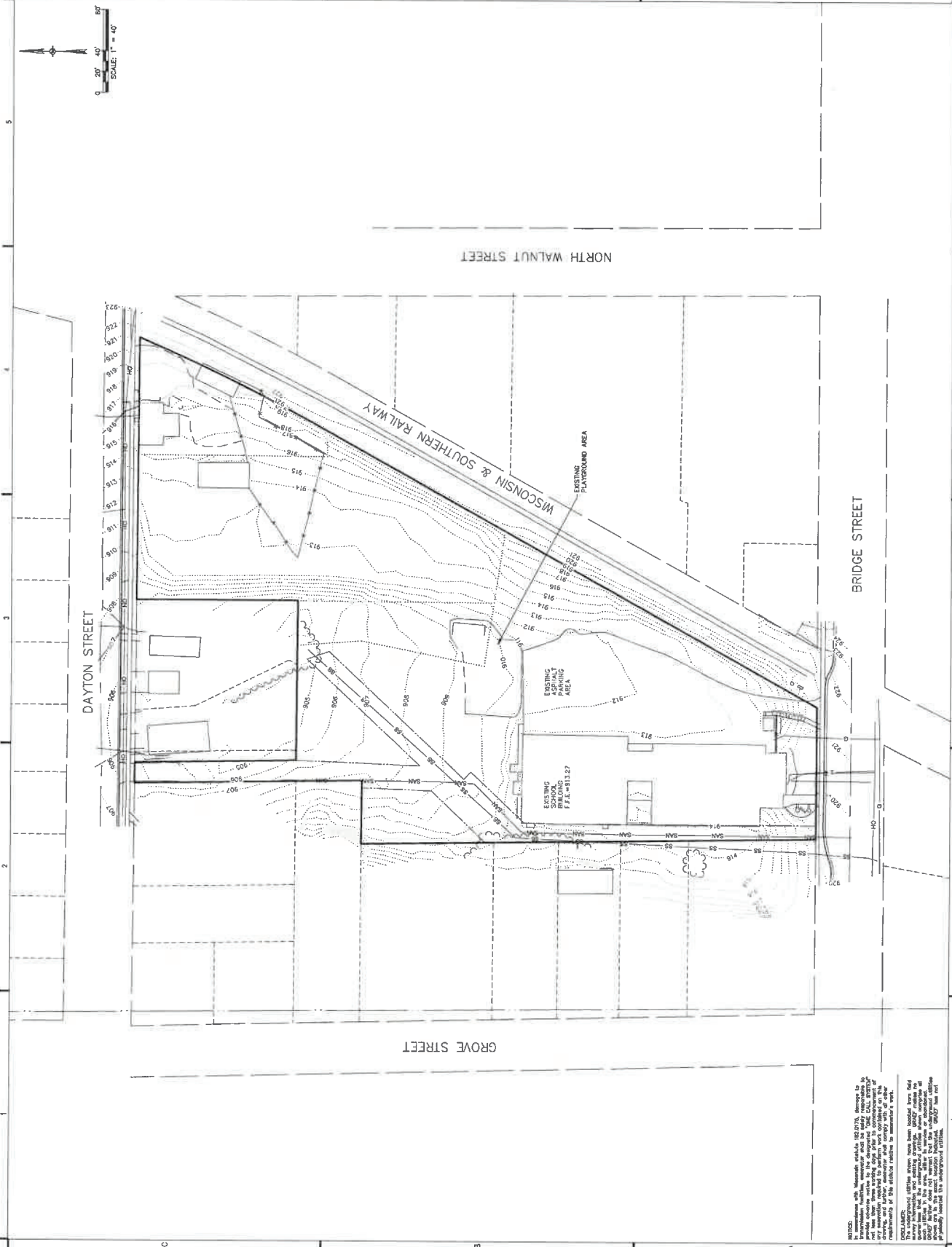
SHEET TITLE:

EXISTING CONDITIONS

SHEET NUMBER:

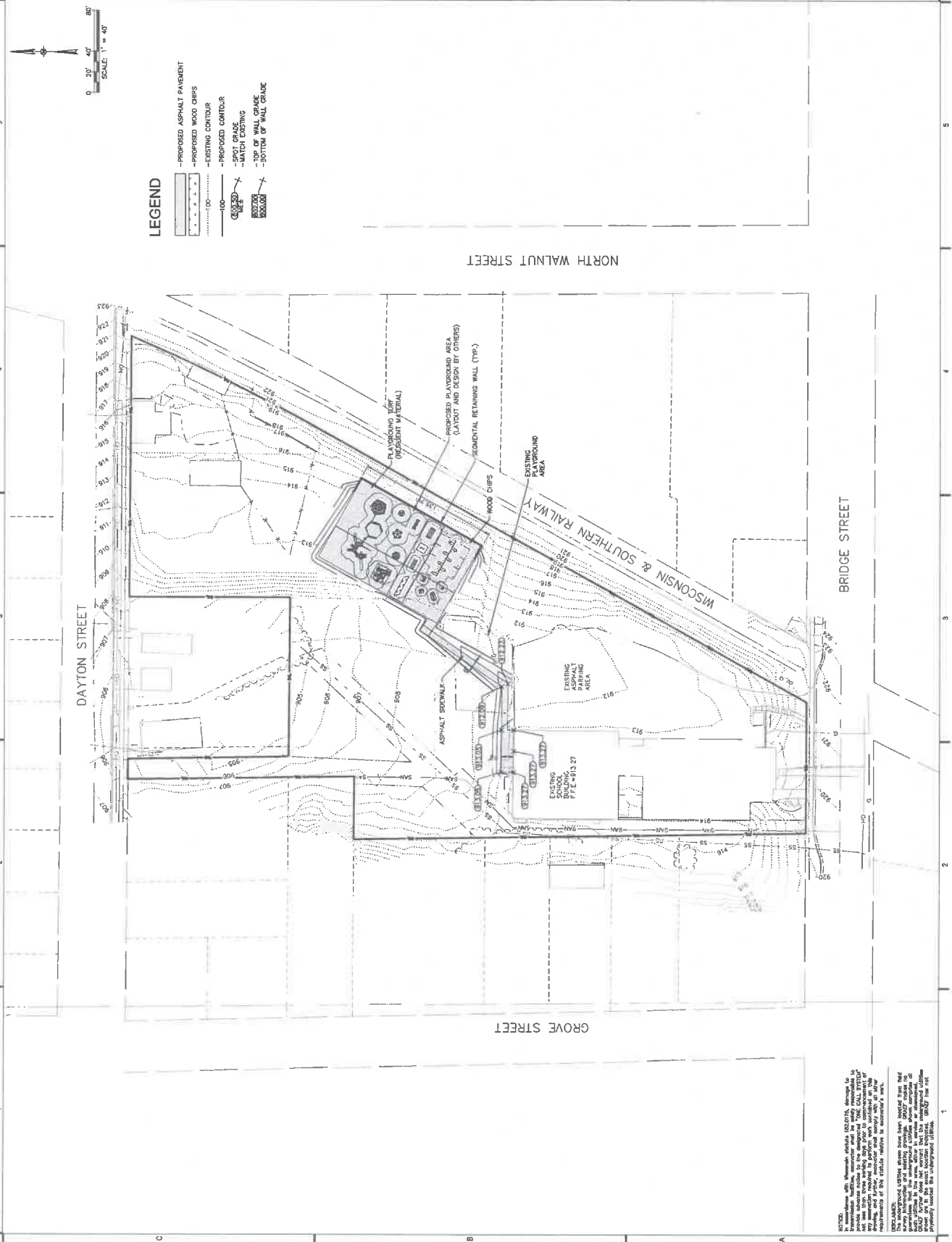
C100

PROGRESS DRAWING



NOTICE: In accordance with Wisconsin statute 102.27(7), designed by the engineer and approved by the city engineer, the drawings are provided as a guide only. The drawings are not to be used for any other purpose without the written consent of the engineer. The engineer is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The engineer is not responsible for any damage to property or persons caused by the use of the drawings. The engineer is not responsible for any damage to property or persons caused by the use of the drawings.

PROGRESS DRAWING



- LEGEND**
- - - - - PROPOSED ASPHALT PAVEMENT
 - - - - - PROPOSED WOOD CHIPS
 - - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - - - - - SPOT GRADE
 - - - - - MATCH EXISTING
 - - - - - TOP OF WALL GRADE
 - - - - - BOTTOM OF WALL GRADE



NOTES:
1. In accordance with Wisconsin statute 102.07(1), drawings to be prepared by a professional engineer or a professional landscape architect shall include the signature and seal of the professional engineer or landscape architect. The seal of the professional engineer or landscape architect shall be placed on the drawings in the location specified in the notes. The seal of the professional engineer or landscape architect shall be placed on the drawings in the location specified in the notes. The seal of the professional engineer or landscape architect shall be placed on the drawings in the location specified in the notes.

CONSULTANTS:

PROJECT TITLE:
 ST. JOHN'S PLAYGROUND

520 BRIDGE ST., WAYVILLE, WI

ISSUE:
 NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-0197.10

DATE: 03-30-2023

DRAWN BY: CW

CHECKED BY: RCR

APPROVED BY: DSR

SCALE: AS SHOWN

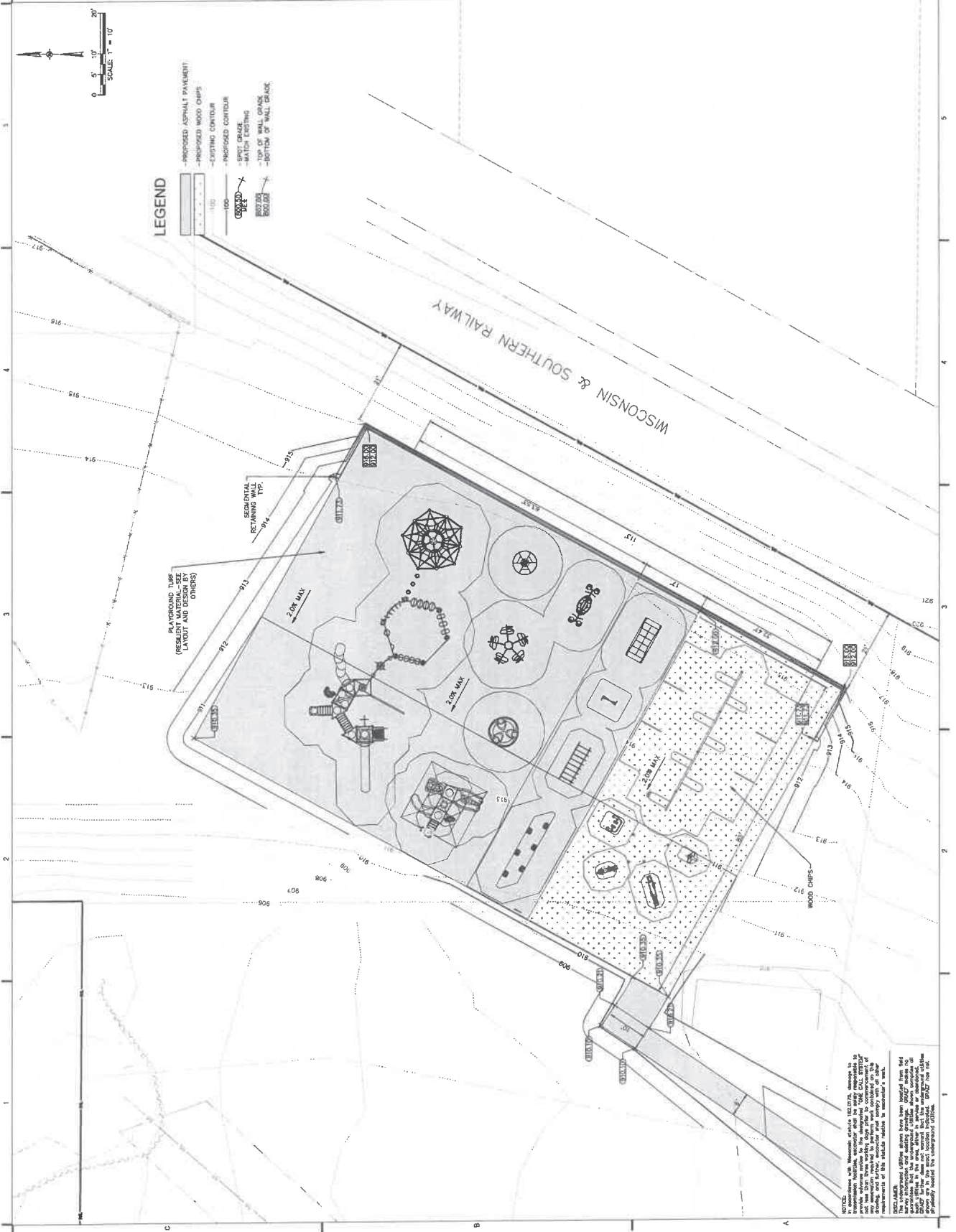
SHEET TITLE:

DETAILED SITE DEVELOPMENT PLAN

SHEET NUMBER:

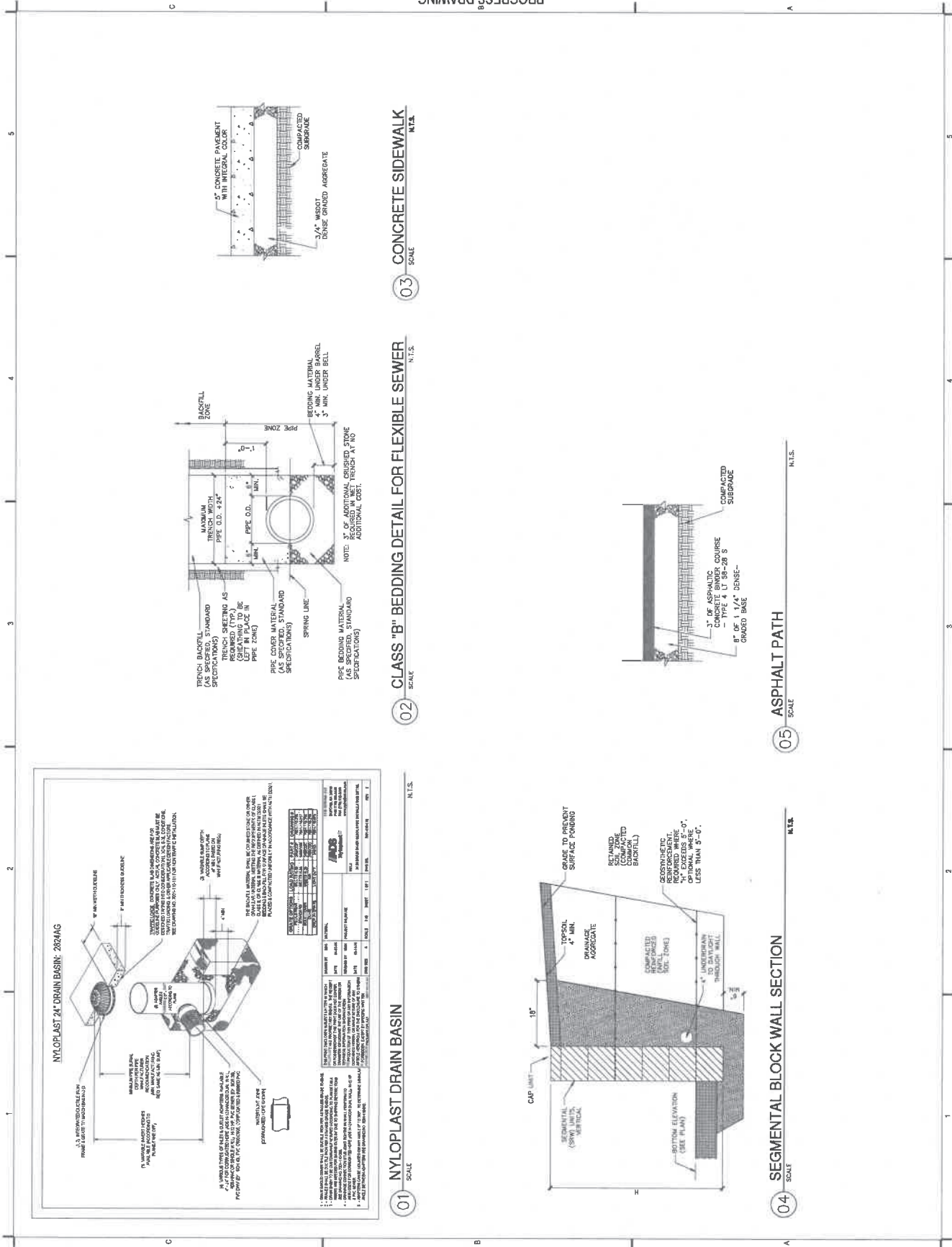
C301

PROGRESS DRAWING

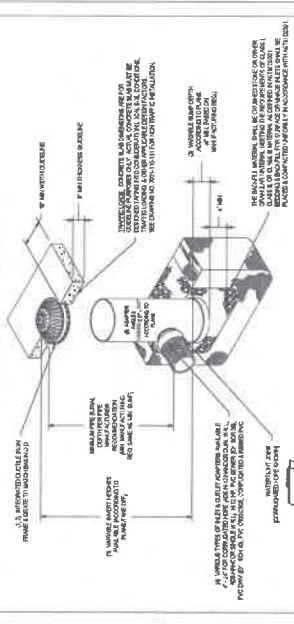


NOTICE: The information shown on this drawing is based on data provided by the client and is not guaranteed to be accurate. The client is responsible for providing accurate information. The information shown on this drawing is not to be used for any other purpose without the written consent of the engineer. The engineer is not responsible for any errors or omissions in this drawing. The engineer is not responsible for any damage or injury resulting from the use of this drawing. The engineer is not responsible for any delay or interruption of work.

PROGRESS DRAWING



NYLOPLAST 24" DRAIN BASIN: 2024AG



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	REMARKS
1	NYLOPLAST 24" DRAIN BASIN	1	EA	120.00	120.00	
2	COVER	1	EA	15.00	15.00	
3	FRAME	1	EA	10.00	10.00	
4	GRATE	1	EA	5.00	5.00	
5	GRATE	1	EA	5.00	5.00	
6	GRATE	1	EA	5.00	5.00	
7	GRATE	1	EA	5.00	5.00	
8	GRATE	1	EA	5.00	5.00	
9	GRATE	1	EA	5.00	5.00	
10	GRATE	1	EA	5.00	5.00	
11	GRATE	1	EA	5.00	5.00	
12	GRATE	1	EA	5.00	5.00	
13	GRATE	1	EA	5.00	5.00	
14	GRATE	1	EA	5.00	5.00	
15	GRATE	1	EA	5.00	5.00	
16	GRATE	1	EA	5.00	5.00	
17	GRATE	1	EA	5.00	5.00	
18	GRATE	1	EA	5.00	5.00	
19	GRATE	1	EA	5.00	5.00	
20	GRATE	1	EA	5.00	5.00	

01 NYLOPLAST DRAIN BASIN

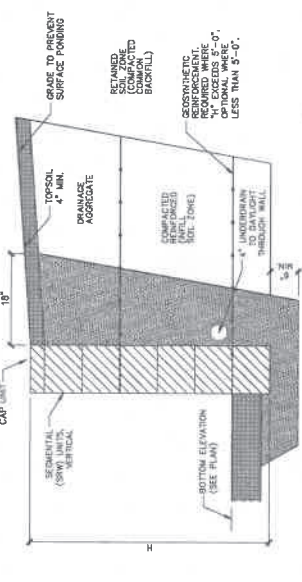
N.T.S. SCALE

02 CLASS "B" BEDDING DETAIL FOR FLEXIBLE SEWER

N.T.S. SCALE

03 CONCRETE SIDEWALK

N.T.S. SCALE

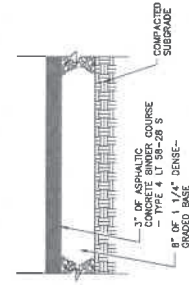


04 SEGMENTAL BLOCK WALL SECTION

N.T.S. SCALE

05 ASPHALT PATH

N.T.S. SCALE



1" OF ASPHALT COURSE
TYPE 4 U' 58-28 S
8" OF 1 1/4" DENSE-
GRADED BASE
COMPACTED
SUBGRADE

GRADE TO PREVENT
SURFACE FLOODING
RETAINED
STRUCTURE
(COMPACTED
SUBGRADE)
CONCRETE
REINFORCEMENT
REQUIRED WHERE
OPTIONAL WHERE 6"
LESS THAN 5'-0".

Draft for Discussion Purposes - Preliminary Values

Clark Street Residential Development

Conceptual Budget

Town House Concept

Projected Revenue

Lot	Zoning	Land Value	Residential Value	Total Value	Projected Annual Taxes
1	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,662.00
2	1 or 2 Family	\$40,000	\$350,000	\$390,000	\$5,811.00
3	1 or 2 Family	\$40,000	\$350,000	\$390,000	\$5,811.00
4	1 or 2 Family	\$40,000	\$350,000	\$390,000	\$5,811.00
5	1 or 2 Family	\$45,000	\$350,000	\$395,000	\$5,885.50
6	1 or 2 Family	\$35,000	\$350,000	\$385,000	\$5,736.50
7	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,662.00
8	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,662.00
9	3 Unit Rowhouse	\$40,000	\$900,000	\$940,000	\$13,969.55
10	3 Unit Rowhouse	\$40,000	\$900,000	\$940,000	\$13,969.55
11	3 Unit Rowhouse	\$40,000	\$900,000	\$940,000	\$13,969.55
12	3 Unit Rowhouse	\$40,000	\$900,000	\$940,000	\$13,969.55
13	3 Unit Rowhouse	\$40,000	\$900,000	\$940,000	\$13,969.55
Totals		\$490,000	\$7,300,000		\$115,888.74

Assume a five year build out, 17 year TIF

12 Years at full taxes **\$1,390,664.85**

Projected Development Costs

Land Purchase	\$150,000	
Legal	\$14,000	
Environmental Survey	\$3,000	
Soil Testing	\$14,000	
Survey work	\$26,000	
Engineering for PUD	\$60,000	
Road and Utility Construction	\$651,644	
Water Connections and Impact Fees	\$19,500	
Project Management	\$75,000	
Five Years of Holding Costs	\$40,625	
Sale Commissions	\$29,400	
	\$1,083,169	
Development Fees - 25%	\$122,500	25%
Total Development Costs	\$1,205,669	

City Reimbursed Cost

Road Construction	\$651,644
PUD Engineering	\$60,000
Soil Testing	\$14,000
Hold Costs	\$40,625
Legal	\$14,000
Water Connections and Impact Fees	\$19,500
Survey Work	\$26,000
	\$825,769

Projected Return

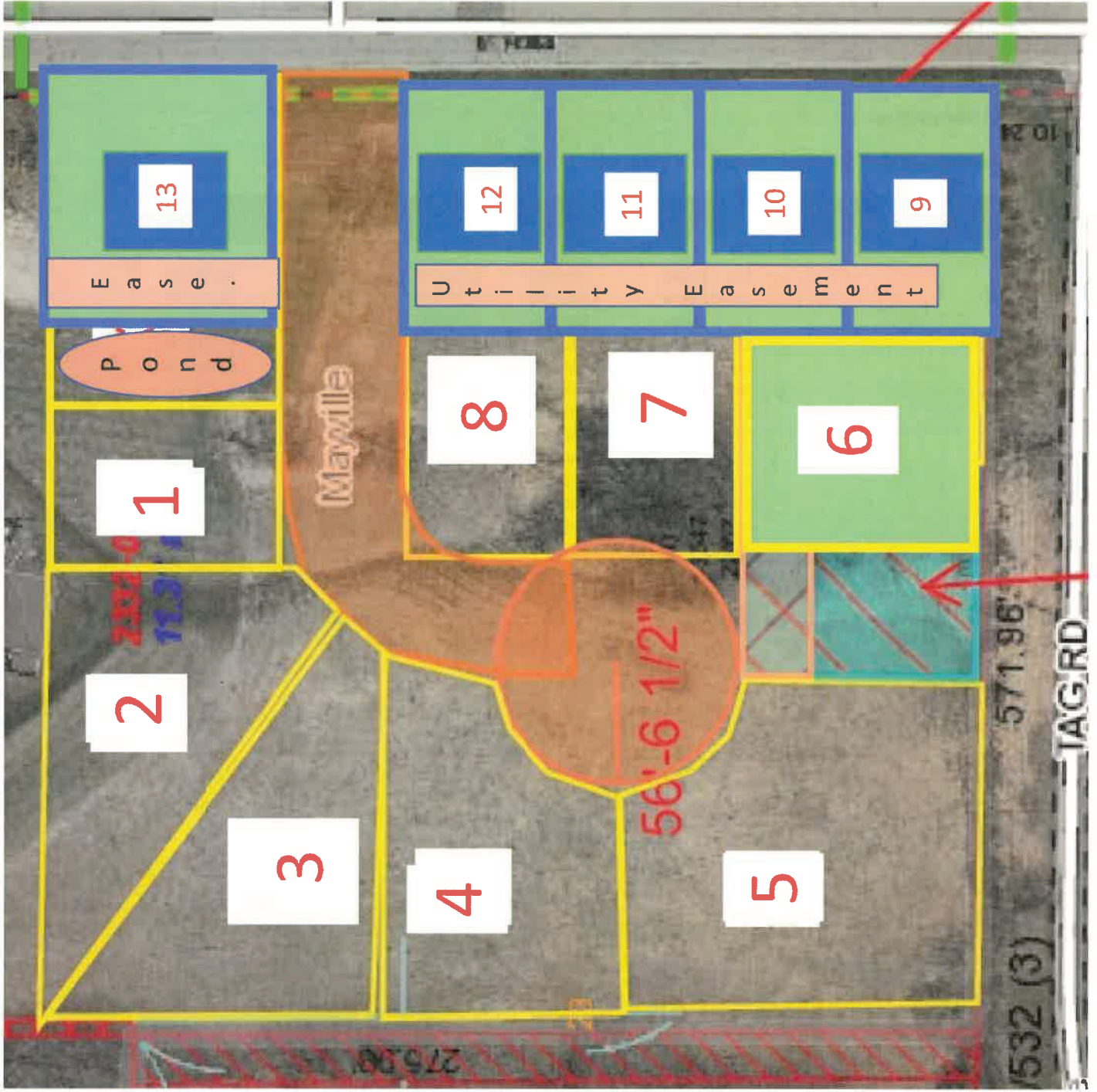
Revenue	\$490,000
Total Cost	(\$1,205,669.40)
City Reimbursement	\$825,769
Net to Developer	\$110,100.00

Revised Site Layout
Single Family
 & Townhouses

(8) 1 or 2
 Family
 Lots 1-8

(5) 3-Unit
 Townhouse
 Lots 9 - 13

Draft for Discussion
 Purposes - Preliminary
 Values



Clark Street Residential TIF Calculations

Lot	Zoning	Land Value	Residential Value	Total Value	Projected Annual Taxes
1	1 or 2 Family	\$45,000	\$350,000	\$395,000	\$5,870.18
2	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,647.26
3	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,647.26
4	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,647.26
5	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,647.26
6	1 or 2 Family	\$30,000	\$350,000	\$380,000	\$5,647.26
7	1 or 2 Family	\$40,000	\$350,000	\$390,000	\$5,795.88
8	1 or 2 Family	\$50,000	\$350,000	\$400,000	\$5,944.49
9	1 or 2 Family	\$45,000	\$350,000	\$395,000	\$5,870.18
10	1 or 2 Family	\$45,000	\$350,000	\$395,000	\$5,870.18
11	1 or 2 Family	\$35,000	\$350,000	\$385,000	\$5,721.57
12	1 or 2 Family	\$35,000	\$350,000	\$385,000	\$5,721.57
Totals		\$445,000	\$4,200,000		\$69,030.37

Assume a five year build out, 17 year TIF

12 Year at full taxes \$828,364.44

Projected Development Costs

Land Purchase	\$150,000	
Legal	\$14,000	
Environmental Survey	\$3,000	
Soil Testing	\$14,000	
Survey work	\$24,000	
Engineering	\$15,000	
Road and Utility Construction	\$651,644	
Project Management	\$75,000	
Five Years of Holding Costs	\$40,625	
Water Connections and Impact Fees	\$19,500	
Sale Commissions	\$26,700	
	\$1,033,469	
Development Fees	\$111,250	25%
Total Development Costs	\$1,144,719	

City Reimbursed Cost

Holding Costs	\$40,625
Road Construction	\$651,644
PUD Engineering	\$15,000
Soil Testing	\$14,000
Hold Costs	\$40,625
Legal	\$14,000
Water Connections and Impact Fees	\$19,500
Survey Work	\$24,000
	\$819,394

Projected Return

Revenue	\$445,000
Total Cost	(\$1,144,719.40)
City Reimbursement	\$819,394
Net to Developer	\$119,675.00

Dead for Discussion Purposes - Preliminary values

st line commends at the se
th 475.35, but feet that 94.26
rains distance of 475.35' or
s of 18th line which would
sity boundary of Mayville and
showing the east line being



Utility Easement

Wetland Reserve

Leona Street – (3) Vacant Parcels

- 0.6 acres +/- each
- Zoned R-B-1 Mixed One & Two Families



Option #1

- 6 Duplexes – 2 units per 0.6 acres
- 2400 SF units – 2 story 30'x40'
- Current Zoning Allows



Option #2

- 12 Duplexes – 2 units per 0.3 acres
- 2400 SF units – 2 story 30'x40'
- Requires (3) land divisions



Leona Street - 3 Vacant Parcels Zoning Map & Setbacks

Current Zoning Code:

Lot area and width. Lot area and width requirements are as follows:

- (1)** Minimum lot area: 7,000 square feet.
- (2)** Minimum lot width: 66 feet.
- F.** Building height and area. Building height and area requirements are as follows:

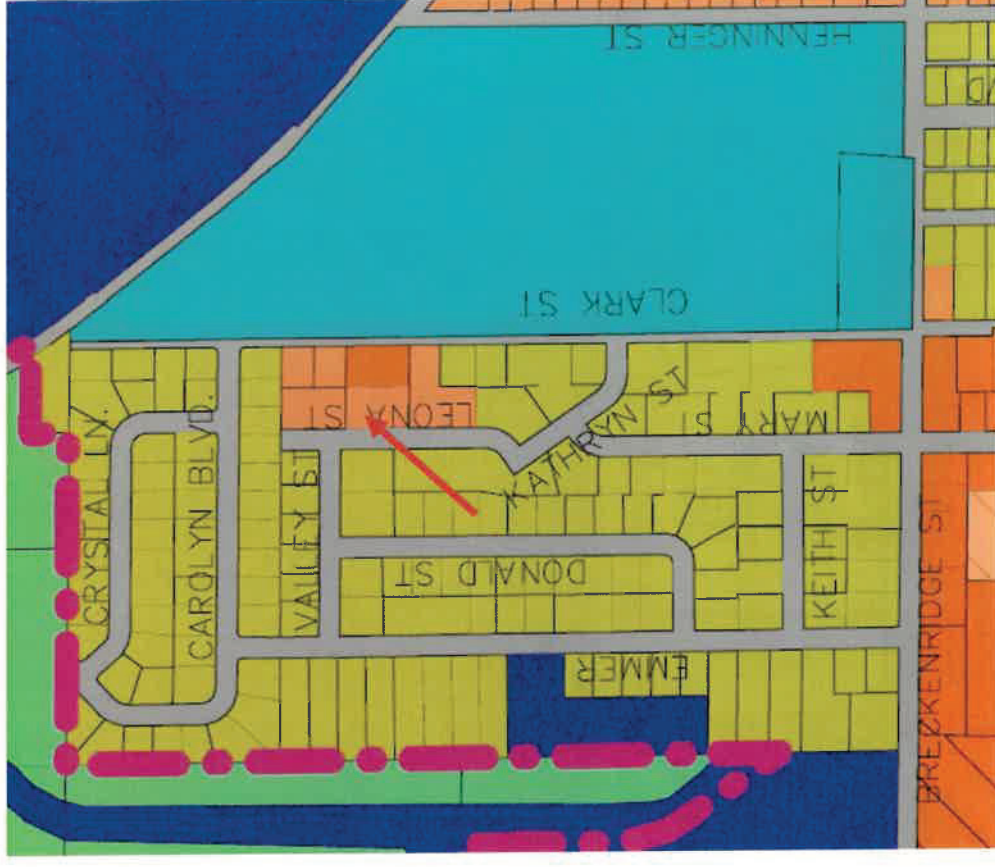
- (1)** No building or parts of a building shall exceed 35 feet in height.
- (2)** No single-family dwelling shall be less than 750 square feet of living area.
- (3)** No structure converted to a two-family occupancy shall occupy less than 750 square feet of ground area for the principal dwelling unit and 600 square feet of living area for the converted unit.

G. Yards. Yard requirements are as follows:

- (1)** Minimum street yard: 25 feet.
- (2)** Minimum side yard: 10 feet.
- (3)** Minimum rear yard: 40 feet.

Proposed Land Division (6 lots total)

- (1)** Lot Area 0.3 acres or 13,095 square feet
- (2)** Lot Width: 100 feet
- (3)** Height: < 35' likely 30' max, but built in hillside
- (4)** Area: >750 SF
- (5)** All yard set backs met.



ZONING DISTRICT

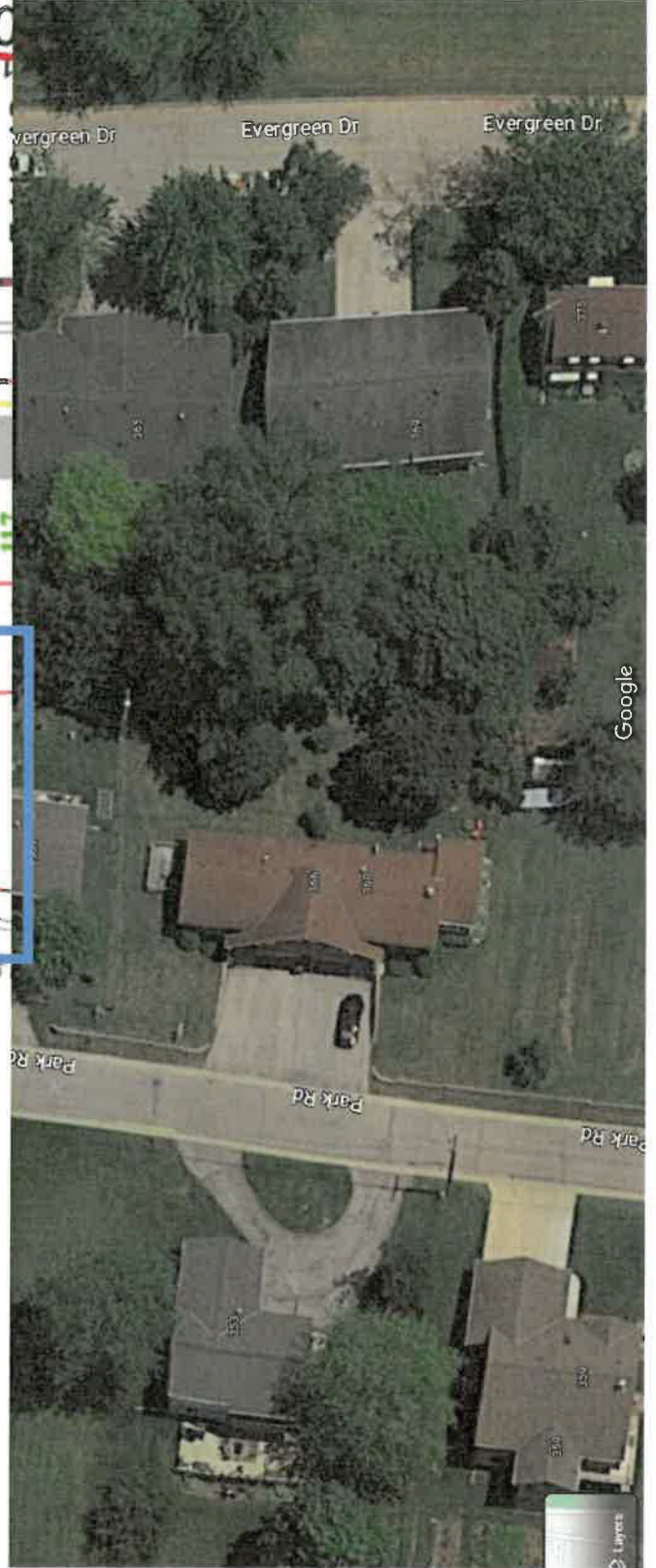
- R-A SINGLE FAMILY
- R-B SINGLE FAMILY
- R-B-1 MIXED ONE AND TWO FAMILY
- R-C TWO FAMILY
- RM MULTIPLE FAMILY

366 & 36/ Park Lane

- Full Duplex
- 0.25 acre lot

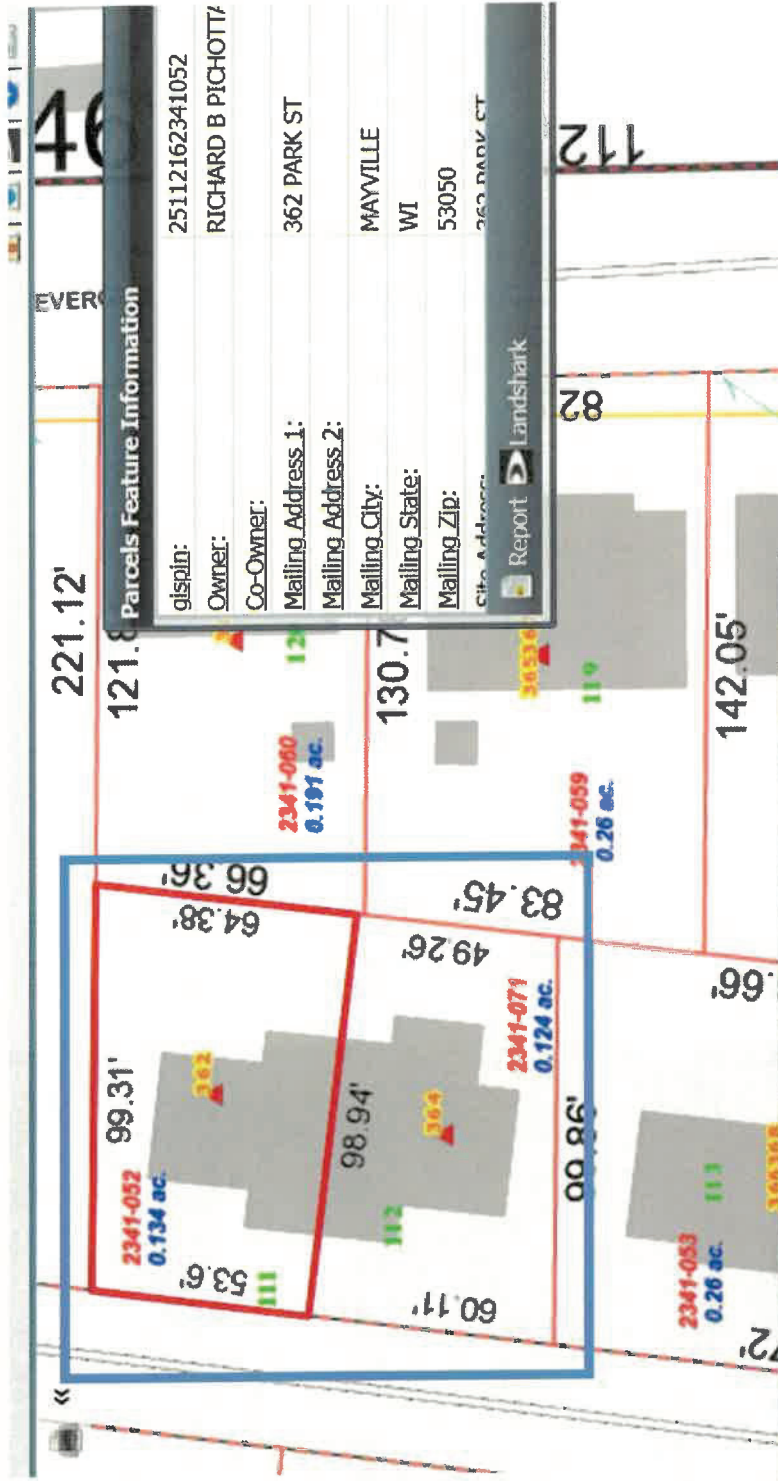
Parcels Feature Information	
gispin:	25112162433000
Owner:	RSS PROPERTIES LLC
Co-Owner:	
Mailing Address 1:	85 WASHINGTON ST
Mailing Address 2:	
Mailing City:	HORICON
Mailing State:	WI
Mailing Zip:	53032
City Address:	225 S GERMAN ST

#7440
51/248
120.09'
(3)
#7440



362 & 364 Park Lane

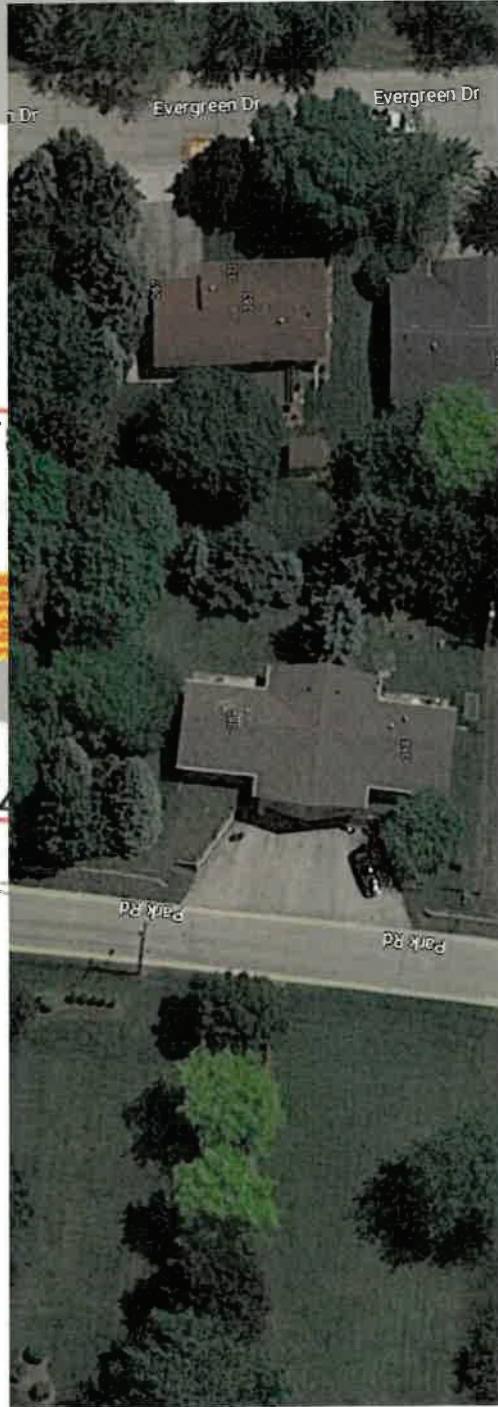
- Half Duplex Each
- 0.124 & 0.134 acre lots



Parcels Feature Information

gispin: 25112162341052
 Owner: RICHARD B PICHOTTI
 Co-Owner:
 Mailing_Address_1: 362 PARK ST
 Mailing_Address_2:
 Mailing_City: MAYVILLE
 Mailing_State: WI
 Mailing_Zip: 53050
 City_Address: 362 PARK ST

Report Landshark



336/338 & 344/346 Nelson Road

- Half Duplex Each
- 0.156 – 0.209 acre Each

