



Plan Commission
September 25, 2024 4:00PM
(Or immediately following Joint Review Board)
Mayville City Hall
15 S School Street

1. CALL TO ORDER AND ROLL CALL

2. CITIZEN COMMENT

Citizen Comments are to be kept to a maximum of five minutes per speaker unless the chairperson allows an extension of time. Each citizen is to make comments at the podium after stating name and address. Each citizen may comment only one time per public hearing / meeting.

3. PUBLIC HEARING

3.a. Public Hearing Regarding Revisions to the Current Conditional Use Permit for the Poplar Grove Dayton Street Apartments

Located at 1200 Dayton Street, Mayville, WI. Parcel No. 251-1216-2322-068.
Public Hearing Notice Published September 12, 2024 and September 19, 2024

4. APPROVAL OF MINUTES

4.a. Approval of Minutes of the August 21, 2024 Plan Commission Meeting

5. DISCUSS WITH POSSIBLE ACTION

5.a. Discuss, with Possible Action, Revisions to the Current Conditional Use Permit for the Poplar Grove Dayton Street Apartments - Applicant: Dayton One, LLC

Located at 1204-1212 Dayton Street, Mayville, WI. Parcel No. 251-1216-2322-068.
Current Zoning: RM Multifamily

5.b. Discuss, with Possible Action, Site Plan Review for Poplar Grove Dayton Street Apartments - Applicant: Kory Krieser

Located at 1208 & 1212 Dayton Street, Mayville, WI. Parcel No. 251-1216-2322-068.

5.c. Introduction of Zoning Petition for St. John's Church

Located at 520 Bridge Street/407 Dayton Street. Parcel No. 251-1216-2313-103.

Current Zoning: RM Multifamily and B-2 Outlying Business

Proposed Zoning: I-1 Institutional

5.d. Discuss Possible Updates to the City of Mayville Zoning Code

6. NEXT MEETING DATE AND TIME

6.a. Next Meeting Date - October 23, 2024, 4:00PM

7. ADJOURNMENT



Minutes – Plan Commission Meeting, August 21, 2024

Call to Order

The meeting was called to order at 4:00PM by Mayor Rob Boelk, with the following roll call:

Present: Mayor Rob Boelk, Ald. Mike Schmidt, James Baron, Andy Shoemaker, and Travis Puls

Excused: None.

Absent: Gene Frings and Broc Fleischer.

Staff Present: Administrator Stephanie Justmann and Clerk Anastasia Gonstead.

Approval of Minutes of the July 24, 2024 Plan Commission Meeting

The motion to approve the minutes of the July 24, 2024 Plan Commission meeting was made by A. Shoemaker and seconded by T. Puls.

Discussion – None.

Vote – 5 ayes, 0 nays. Motion carried.

Citizen Comments

None.

Public Hearing Regarding the Proposed Creation of Tax Incremental District No. 7, the Proposed Boundaries of the District, and the Proposed Project Plan for the District.

John Cameron with Ehlers provided an overview of the project plan for TID 7, a mixed-use district. Mr. Cameron provided an explanation of how TIDs work, parameters, and legal regulations. He provided the Body statistics on the proposed TID, including an estimated \$13.2 million in new, taxable value and an estimated \$3.7 million in future tax revenue over the life of the TID. As well as an overview of the four project phases and the eligible project costs.

Mr. Camerson was asked questions pertaining to allowable amount of residential in the TID area and ability to do expansions. Clarification was provided to those in attendance.

There were no comments or questions from the public.

Consideration and Possible Action on a “Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 7

The motion to approve the Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 7 was made by Ald. Schmidt and seconded by T. Puls.

Discussion – None.

Vote – 5 ayes, 0 nays. Motion carried.

Discuss Possible Updates to the City of Mayville Zoning Code

Mitch Lisus with Kunkle Engineering was present to assist the Commission. The Commission had discussion pertaining to the age and difficulty in being able to navigate the existing zoning code. Examples were given of other municipalities with zoning code that is easier to understand. Discussion was also had regarding how zoning code relates to the 30-year Comprehensive Plan update, as well as creative ordinances other communities have regarding housing needs, such as tiny home communities.

The consensus was to come back next month, having reviewed the zoning code and to come with suggestions.

The motion to table this agenda item to the next meeting was made by T. Puls and seconded by Ald. Schmidt.

Vote – 5 ayes, 0 nays. Motion carried.

Date and Time of the Next Plan Commission Meeting

The date and time of the next Plan Commission meeting is September 25, 2024 at 4:00PM.

Adjournment

The meeting was adjourned by order of the Chair at 4:31PM.

Respectfully submitted,
Anastasia Gonstead – City Clerk



15 South School Street, PO Box 273, Mayville WI 53050
Phone: 920.387.7900 Fax: 920.387.7919
WWW.MAYVILLECITY.COM

STAFF MEMO

Meeting Date: September 25, 2024

Agenda Item: Discuss, with Possible Action, Revisions to the Current Conditional Use Permit Application for the Poplar Grove Dayton Street Apartments – Applicant: Dayton One, LLC

To: Plan Commission Members

From: Nick Chikowski

Background and Analysis:

Poplar Grove Dayton Street Apartments were originally given a conditional use by the City of Mayville that allowed for them to build three (3) buildings with 18 units each. The first building has been built. The developer is now looking to build buildings 2 and 3, but to have a total of 19 units in each. With this revision, the developer needed to get a revised Conditional Use to cover the change in the number of units in the buildings.

Site Plan:

Review of site plan is on the agenda.

Review Procedures:

1. Public Hearing
2. Plan Commission to discuss and recommend to Council to approve or deny.

Signage:

None.

Additional Staff Comments:

Utilities: A schedule for installation of water services will need to be provided, as a meter for these properties will need to be ordered that is larger than what is stocked. These products carry significant lead time.

Notice Requirements:

1. Posting on the agenda
2. Class II Publication for Public Hearing
3. Notice to Contiguous Property Owners

Attachments:

1. Conditional Use Permit Application of Dayton One, LLC

CITY OF MAYVILLE
CONDITIONAL USE PERMIT APPLICATION

INSTRUCTIONS

Applications are to be filed with the Building Inspector, and he/she shall refuse applications that are not complete or that are not legible.

NAMES AND ADDRESSES

Applicant: Dayton One, LLC

Owner of the Site: Dayton One, LLC

Architect or Engineer: Haydin Thacker Architecture & Trio Engineering

Contractor: Kriesr Construction

Property Owners Adjacent and Opposite: 1176, 1240, 1272, 1302, 1338, 1352,

& 1380 Dayton St. See attachments for owners.

DESCRIPTION OF SUBJECT SITE

Address: 1204 - 1212 DAYTON ST Parcel No. 251-1216-2322-068

Lot 1 Block 7 Subdivision The Highlands

Metes and Bounds description: Lot 1 of Certified Survey Map No. 4812, being Outlot 2, Block 7 of the Plat of "The Highlands" and also unplatted lands in the Northwest 1/4 of the Northwest 1/4 of Section 23, Township 12 North, Range 16 East, City of Mayville, Dodge County, Wisconsin as recorded in Volume 31 of Surveys at page 48

Zoning District Classification RM Multifamily

Description of Existing Operation or Use: Multifamily Residential

Description of Proposed Operation or Use: Multifamily Residential

Number of Employees: 1 Part-time

Type of Improvement: Two (2) 19-unit apartment building with attached garages

ATTACHMENTS

The following items shall be attached to this application:

PLAT OF SURVEY prepared by a registered land surveyor showing location, elevations, uses, and size of the following: subject site, existing and proposed structures, existing, and proposed easements, streets and other public ways, off street parking, loading areas and driveways, existing highway access restrictions, existing and proposed street side and rear yards. In addition, the survey shall show the location elevation and use of any abutting lands and their structures within forty (40) feet of the subject site.

PROPOSED DEWAGE DISPOSAL PLAN if municipal sewerage service is not available. This plan should be prepared after consultation with the Mayville Water and Wastewater Utilities Director and shall be approved by an Engineer registered in the State of Wisconsin who shall certify in writing that satisfactory, adequate, and safe sewage disposable is possible on the site as proposed by the plan in accordance with applicable local, county, and state regulations.

PROPOSED WATER SUPPLY PLAN if municipal water service is not available. This plan shall be prepared after consultation with the Mayville Water and Wastewater Utilities Director and shall be approved by an Engineer registered in the State of Wisconsin, who shall certify in writing that an adequate and safe supply of water will be provided.

ADDITIONAL INFORMATION as may be required by the Planning Commission, Extraterritorial Zoning Commission or Building Inspector.

REASON FOR REQUESTING A CONDITIONAL USE

Provided multifamily development of buildings with greater than eight (8) units.

Proposed plan would include up to nineteen (19) units in buildings 2 & 3.

Buildings #1 - #3 were previously approved for 18 units.

CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true to the best of my knowledge and belief.

Applicant Kory Kriesser
(signature)

Address PO Box 312

City, State, Zip Elm Grove, Wi 53122

Date December 15, 2021

Date application Filed: _____

Fee Submitted _____

* * * * *

Dates Notice Published _____

Dates Notice Mailed _____

Public Hearing Date _____

APPROVAL OR REFUSAL

Date Permit (Issued, Denied) _____

Building Inspector _____
(Signature) (Date)

(Attach applicable minutes)

NOTES:

PERMIT MAY BE REVOKED without notice if misrepresentation of any of the above information or attachments is found to exist.

PERMIT IS NULL AND VOID if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any premises for any purpose that is prohibited by the Zoning Ordinance or any other state or local laws.

CHANGES in the plans or specifications submitted in the original application shall not be made without prior written approval of the Zoning Administrator.



15 South School Street, PO Box 273, Mayville WI 53050
Phone: 920.387.7900 Fax: 920.387.7919
WWW.MAYVILLECITY.COM

STAFF MEMO

Meeting Date: September 25, 2024

Agenda Item: Discuss, with Possible Action, Site Plan Review for Poplar Grove Dayton Street Apartments – Applicant: Kory Krieser

To: Plan Commission Members

From: Nick Chikowski

Background and Analysis:

Poplar Grove Dayton Street Apartments were given an original site plan approval for the development at 1208 and 1212 Dayton Street. Due to the developer revising the original plans, they need to go through another review to get approval to the revised site plan.

Site Plan:

Agenda item being reviewed.

Review Procedures:

1. Plan Commission to discuss and recommend Common Council approve or deny.

Signage:

None.

Additional Staff Comments:

None.

Notice Requirements:

1. Posting on the agenda.

Attachments:

1. Poplar Grove Review Letter
2. Site Plan Application of Kory Krieser
3. Poplar Grove Phase II Plan Set
4. Poplar Grove Apartments – Site Plan Transmittal Letter

APPLICATION FOR SITE PLAN REVIEW

Name of Proposed Development: Poplar Grove Apts
Address of Development Site: 1208 & 1212 Dayton St.

Applicant:

Contact Person: Kory Krieser
Address: PO Box 312
Elm Grove, WI 53122
Phone/Fax: 414-588-5510

Plans Prepared by:

Contact Person: Matt Bailey
Address: 4100 Cahoun Rd. Suite 300
Brookfield, WI
Phone/Fax: 262-790-1480

Owner(if different):

Contact Person: _____
Address: _____

Phone/Fax: _____

Partner (if different):

Contact Person: _____
Address: _____

Phone/Fax: _____

Please describe the proposed development: Revision to previously approved plan.
Phase 2 of the Poplar Grove Development - Two (2) nineteen - unit buildings with
attached private garages with surface parking and additional stormwater facilities

Is Review by other jurisdictions required?

☐ Federal ☒ State ☐ County ☐ Township

If yes, please describe: DSPS will review the site plumbing and building plans, as well as,
deferred truss, HVAC, and fire protection submittals

Utility Demand: (if applicable, attach calculations)

Anticipated Annual Water Consumption: _____
Anticipated Annual Sewerage Discharge: _____
Anticipated Stormwater Discharge: _____

For Office Use Only

PIN Number: _____
Zoning: _____
Fees Paid: _____
Date of Plan _____
Commission Review _____

CITY OF MAYVILLE
PLAN OF BUSINESS OPERATIONS

The Plan of Business Operations is required to be on file with the Zoning Administrator prior to commencing operation of any commercial, industrial, or home-based business.

Name of Business: Dayton One LLC

Contact Person: Tom Baade

Address: PO Box 312

Elm Grove, WI 53212

Phone: 715-892-3665

Fax: _____

Type of Operation:

☐ Retail ☐ Wholesale ☐ Manufacturing ☐ Home-Based ☒ Other

Description of Operation: Apartment homes for rent.

Hours of Operation: By appointment

Days per Week: _____

Number of Employees:

____ Full-time
1 Part-time

Parking and Loading:

40 Guest, 112 assigned
Autos
Trucks

If there will be outdoor storage associated with the operations, please describe its nature and methods of screening the storage from public view: _____

NOTE: If there will be any hazardous materials associated with the operations, please attach MSDS Sheets. This information will be forwarded to local public safety officials.

Kory Kriesser

Signature of Applicant

8/2/24

Date

FOR OFFICE USE ONLY

Zoning: _____

Approved By: _____ Date: _____

Conditions of Approval: _____

Routing:

WHITE - Zoning Administrator

YELLOW - Applicant

THE APARTMENTS AT POPLAR GROVE – PHASE 2

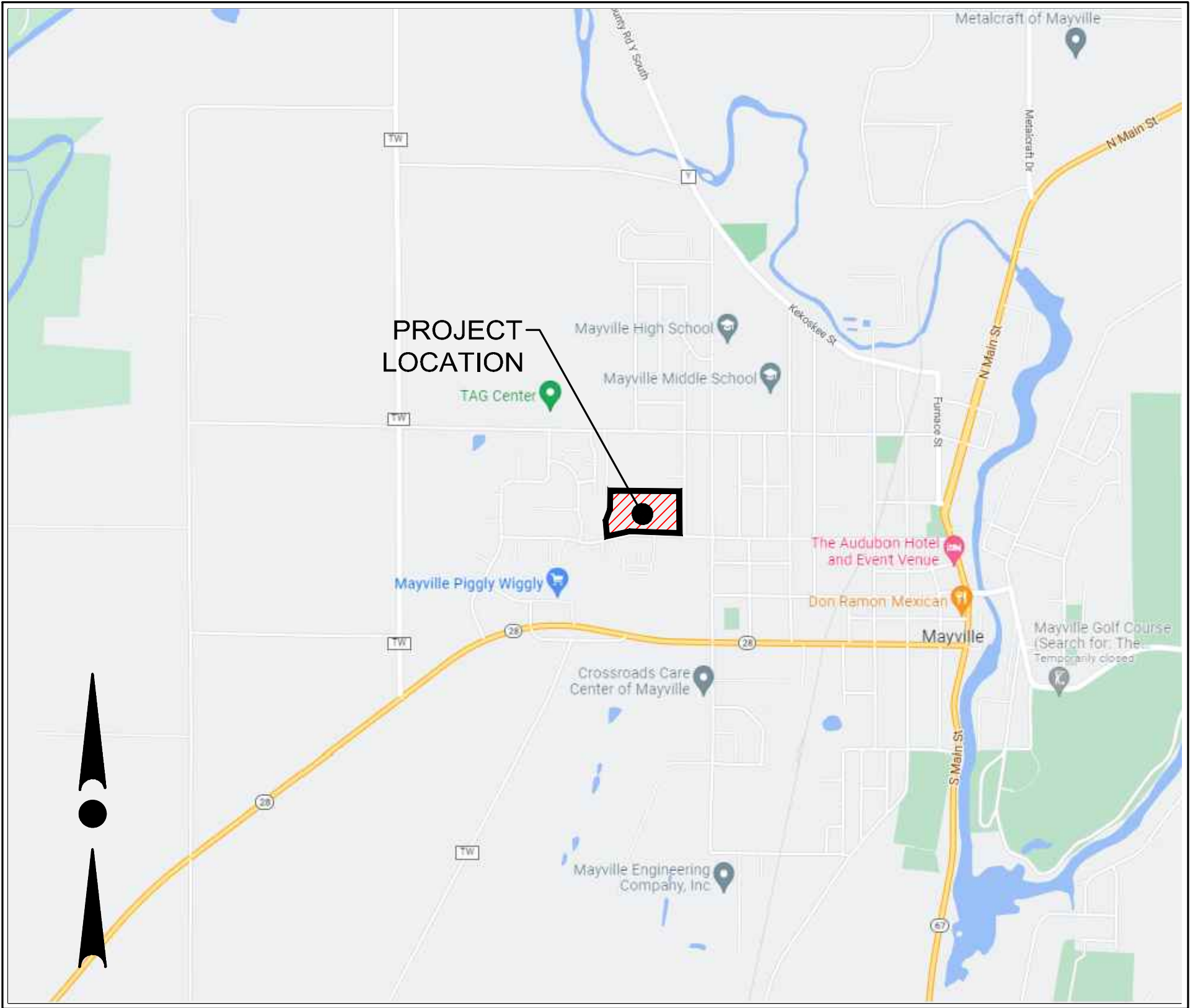
MULTI-FAMILY DEVELOPMENT

SITE DEVELOPMENT PLANS

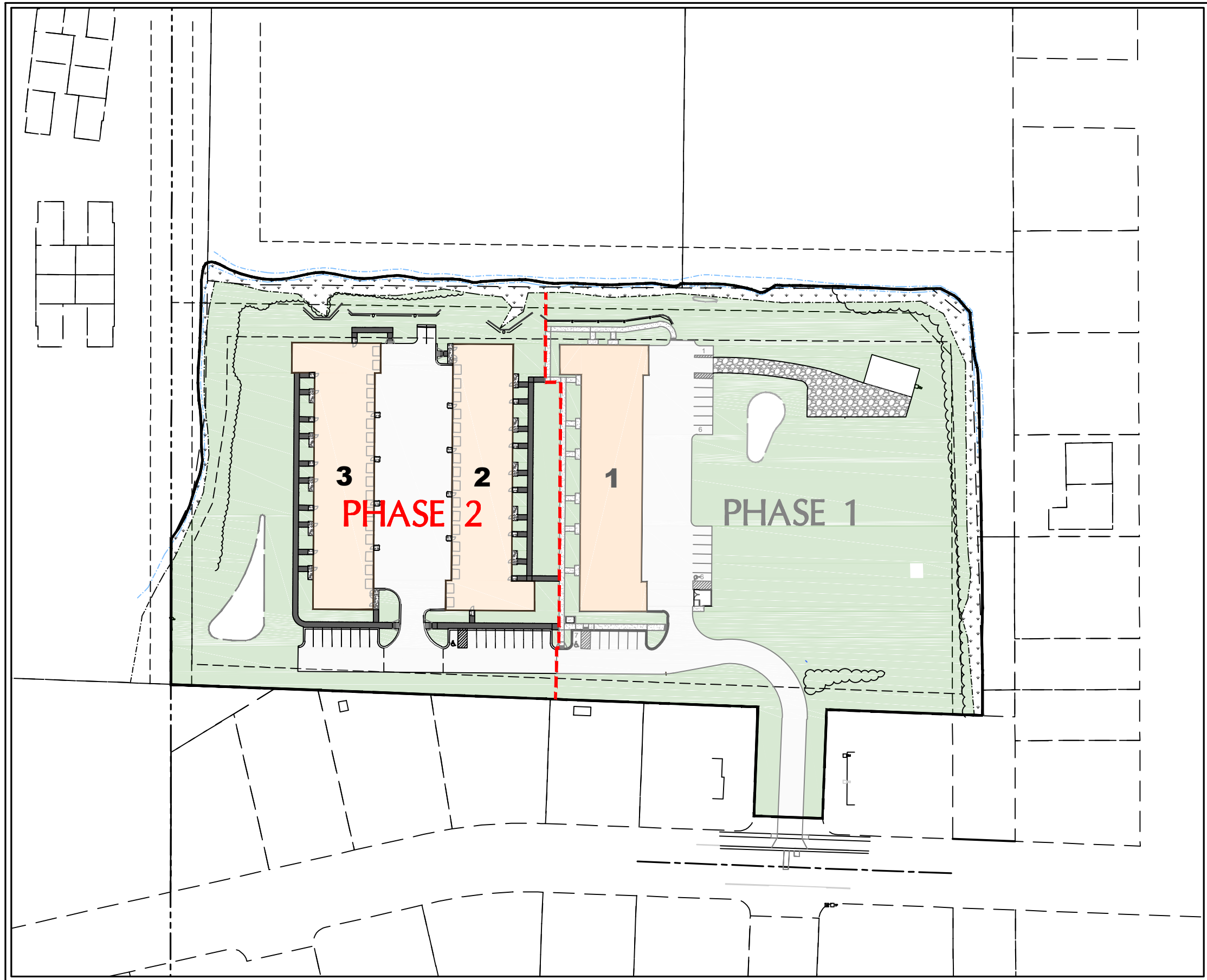
CITY OF MAYVILLE, WISCONSIN

GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - CITY OF MAYVILLE TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE CITY OF PEWAUKEE.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF MAYVILLE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.



LOCATION MAP
NOT TO SCALE



SITE PLAN
SCALE: 1" = 100'

DEVELOPER:
DAYTON ONE, LLC.
P.O. BOX 312
ELM GROVE, WI 53122
CONTACT: KORY KRIESER
PHONE: 414-588-5510
EMAIL: kkrieser@integrism.com

ENGINEER:
TRIO ENGINEERING, LLC
4100 N CALHOUN ROAD, SUITE 300
BROOKFIELD, WI 53005
CONTACT: MATTHEW BAILEY, P.E.
PHONE: 262-790-1480
FAX: 262-790-1481
EMAIL: mbailey@trioeng.com

SHEET INDEX

CIVIL	
T1	– COVER SHEET
C1.0	– EXISTING SITE & DEMOLITION PLAN
C1.1	– OVERALL DEVELOPMENT PLAN
C1.2	– PROPOSED SITE PLAN
C2.0	– GRADING & DRAINAGE PLAN
C2.1	– POND DETAIL
C3.0	– EROSION CONTROL PLAN
C4.0	– UTILITY PLAN
C4.1	– SANITARY AND WATER MAIN PLAN & PROFILE
C5.0-5.1	– CONSTRUCTION NOTES & DETAILS



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudefio@trioeng.com

PROJECT:
THE APARTMENTS AT POPLAR GROVE – PHASE 2
CITY OF MAYVILLE, WISCONSIN
BY: DAYTON ONE, LLC. c/o INTEGRIS
W124 N9899 WASAUKEE RD.
GERMANTOWN, WI 53022

REVISION HISTORY

DATE	DESCRIPTION
07/31/2024	INITIAL SUBMITTAL

DATE:
JULY 31, 2024

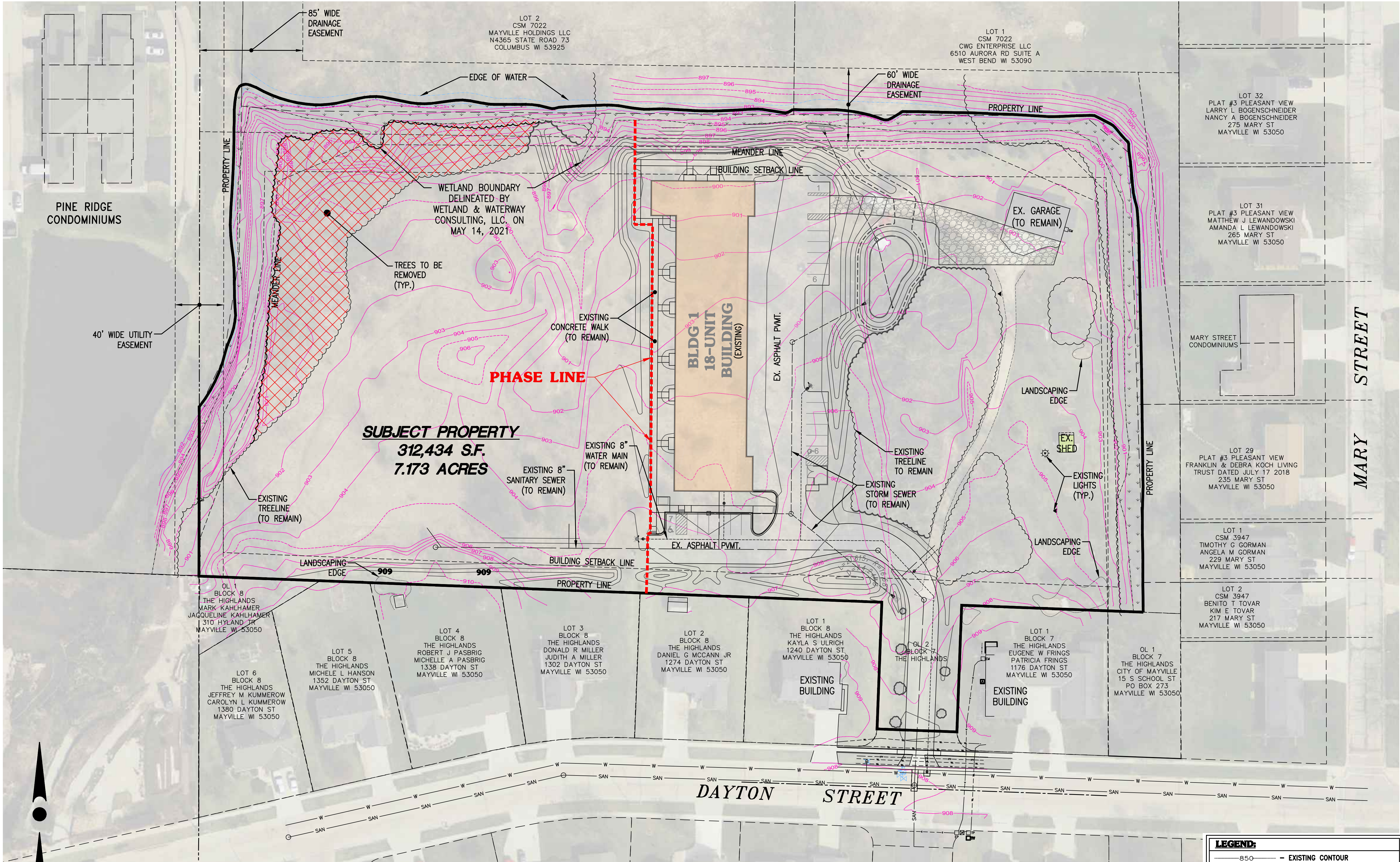
JOB NUMBER:
20-014-1149

DESCRIPTION:
COVER SHEET

SHEET

T1

X:\2020\20-014-787-MAYVILLE MULTI FAMILY\DRAWINGS\CONSTRUCTION PLANS\PHASE 2\PH2_POPLAR GROVE_CIVIL PLAN SET_22X34.DWG



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SCALE: 1" = 40' (22"x34")
SCALE: 1" = 80' (11"x17")



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

- 850 - EXISTING CONTOUR
- SAN - EXISTING SANITARY SEWER
- O - EXISTING SANITARY MANHOLE
- W - EXISTING WATER MAIN
- HYD - EXISTING HYDRANT
- ST - EXISTING STORM SEWER
- O - EXISTING STORM MANHOLE
- - EXISTING STORM INLET
- ⊞ - EXISTING TRANSFORMER
- ⊞ - EXISTING ELECTRIC PEDESTAL
- ⊞ - EXISTING TELEPHONE PEDESTAL
- ⊞ - EXISTING CATV PEDESTAL
- ⊞ - EXISTING POWER POLE



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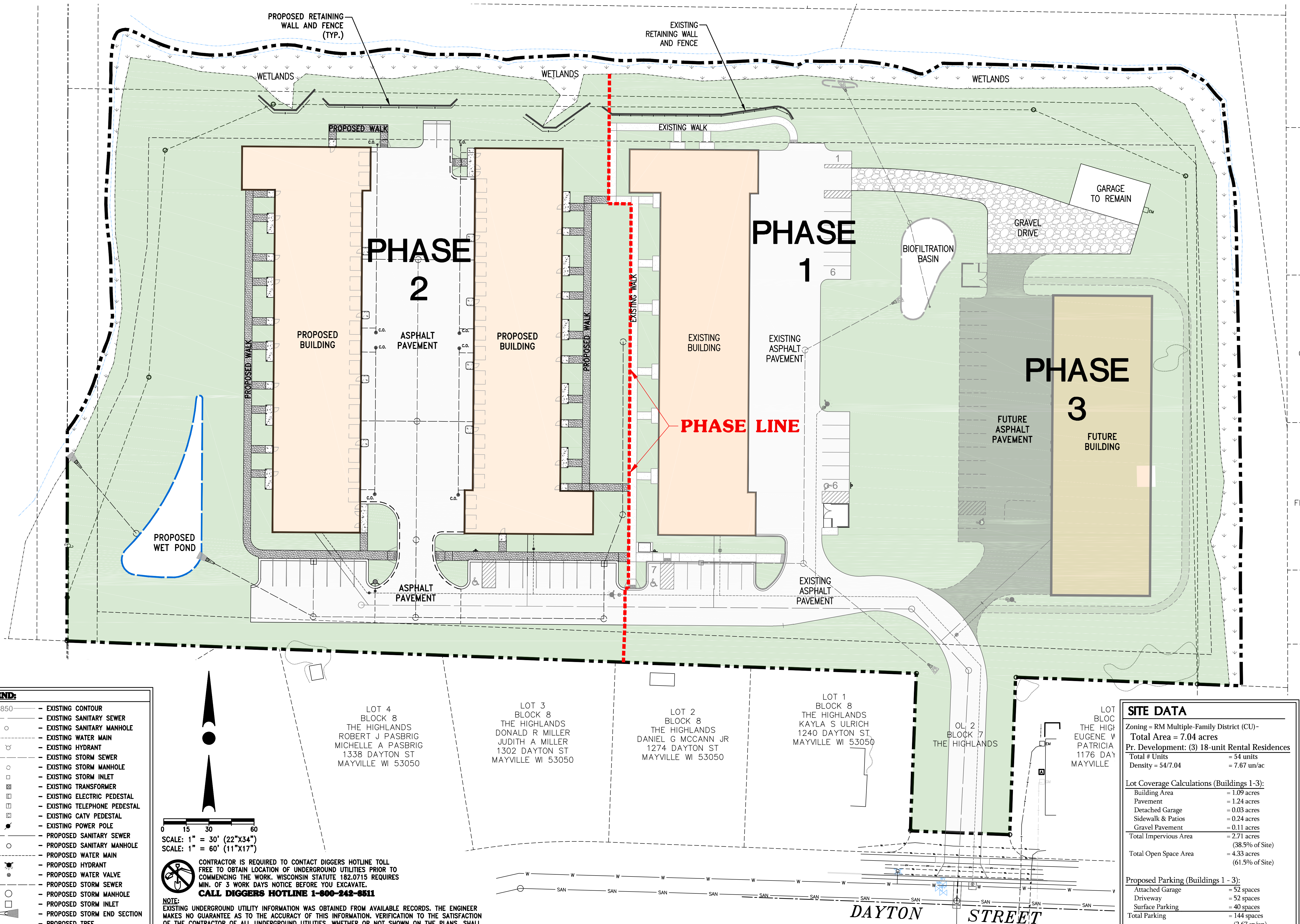
JOB NUMBER:
20-014-1149

DESCRIPTION:
EXISTING SITE & DEMOLITION PLAN

SHEET

C1.0

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LEGEND:	
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING CATV PEDESTAL
	EXISTING POWER POLE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION
	PROPOSED TREE

0 15 30 60
SCALE: 1" = 30' (22"x34")
SCALE: 1" = 60' (11"x17")

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
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LOT 4
BLOCK 8
THE HIGHLANDS
ROBERT J PASBRIG
MICHELLE A PASBRIG
1338 DAYTON ST
MAYVILLE WI 53050

LOT 3
BLOCK 8
THE HIGHLANDS
DONALD R MILLER
JUDITH A MILLER
1302 DAYTON ST
MAYVILLE WI 53050

LOT 2
BLOCK 8
THE HIGHLANDS
DANIEL G MCCANN JR
1274 DAYTON ST
MAYVILLE WI 53050

LOT 1
BLOCK 8
THE HIGHLANDS
KAYLA S ULRICH
1240 DAYTON ST
MAYVILLE WI 53050

LOT 2
BLOCK 7
THE HIGHLANDS

LOT 2
BLOCK 7
THE HIGHLANDS
EUGENE V PATRICK
1176 DAYTON ST
MAYVILLE WI 53050

SITE DATA	
Zoning = RM Multiple-Family District (CU)-	
Total Area = 7.04 acres	
Pr. Development: (3) 18-unit Rental Residences	
Total # Units	= 54 units
Density = 54/7.04	= 7.67 un/ac
Lot Coverage Calculations (Buildings 1-3):	
Building Area	= 1.09 acres
Pavement	= 1.24 acres
Detached Garage	= 0.03 acres
Sidewalk & Patios	= 0.24 acres
Gravel Pavement	= 0.11 acres
Total Impervious Area	= 2.71 acres
(38.5% of Site)	
Total Open Space Area	= 4.33 acres
(61.5% of Site)	
Proposed Parking (Buildings 1 - 3):	
Attached Garage	= 52 spaces
Driveway	= 52 spaces
Surface Parking	= 40 spaces
Total Parking	= 144 spaces
(2.67 sp/un)	



PROJECT:
THE APARTMENTS AT POPLAR GROVE - PHASE 2
CITY OF MAYVILLE, WISCONSIN
BY: DAYTON ONE, LLC. c/o INTEGRIS
W124 N9899 WASAUKEE RD.
GERMANTOWN, WI 53022

REVISION HISTORY	
DATE	DESCRIPTION
07/31/2024	INITIAL SUBMITTAL

DATE:
JULY 31, 2024

JOB NUMBER:
20-014-1149

DESCRIPTION:
OVERALL DEVELOPMENT PLAN

SHEET
C1.1

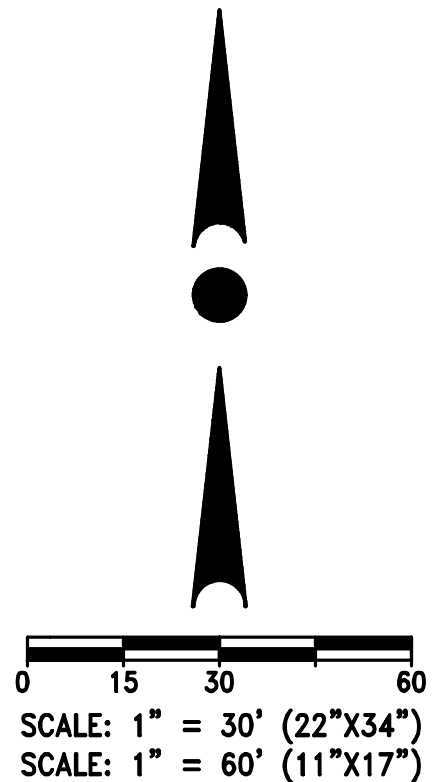
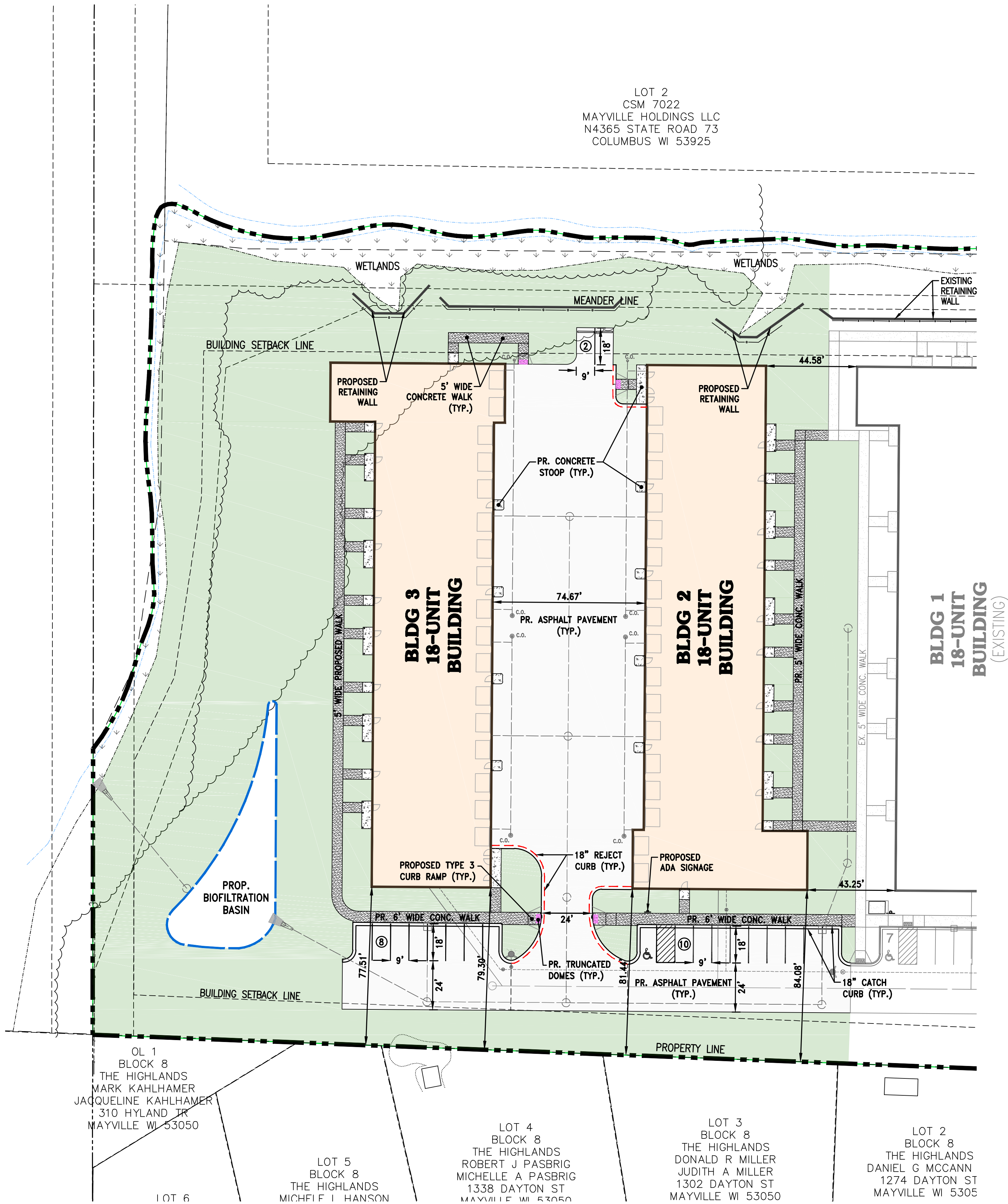
X:\2020\20-014-787-MAYVILLE MULTI FAMILY\DRAWINGS\CONSTRUCTION PLANS\PHASE 2\PH2_POPLAR GROVE_CIVIL PLAN SET_22X34.DWG



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LEGEND:	
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	- EXISTING STORM SEWER
	- EXISTING STORM MANHOLE
	- EXISTING STORM INLET
	- EXISTING TRANSFORMER
	- EXISTING ELECTRIC PEDESTAL
	- EXISTING TELEPHONE PEDESTAL
	- EXISTING CATV PEDESTAL
	- EXISTING POWER POLE
	- PROPOSED SANITARY SEWER
	- PROPOSED SANITARY MANHOLE
	- PROPOSED WATER MAIN
	- PROPOSED HYDRANT
	- PROPOSED WATER VALVE
	- PROPOSED STORM SEWER
	- PROPOSED STORM MANHOLE
	- PROPOSED STORM INLET
	- PROPOSED STORM END SECTION
	- PROPOSED TREE



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BROOKFIELD, WI 53005
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PROJECT:
THE APARTMENTS AT POPLAR GROVE - PHASE 2
CITY OF MAYVILLE, WISCONSIN
BY: DAYTON ONE, LLC. c/o INTEGRIS
W124 N9899 WASAUKEE RD.
GERMANTOWN, WI 53022

REVISION HISTORY	
DATE	DESCRIPTION
07/31/2024	INITIAL SUBMITTAL

DATE:
JULY 31, 2024

JOB NUMBER:
20-014-1149

DESCRIPTION:
PROPOSED
SITE PLAN

SHEET

C1.2

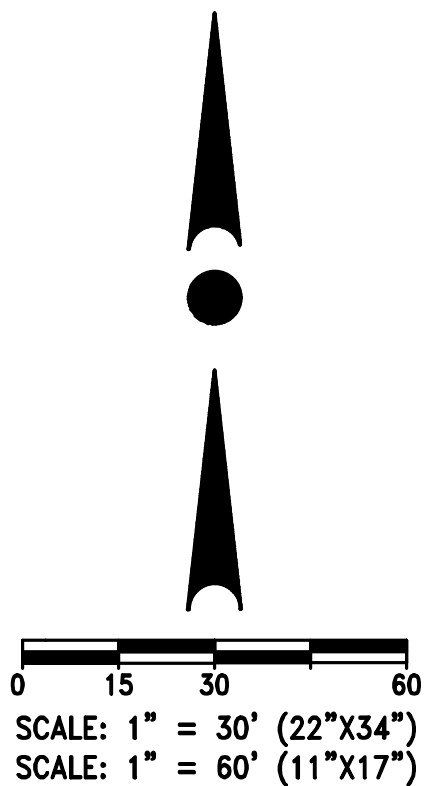
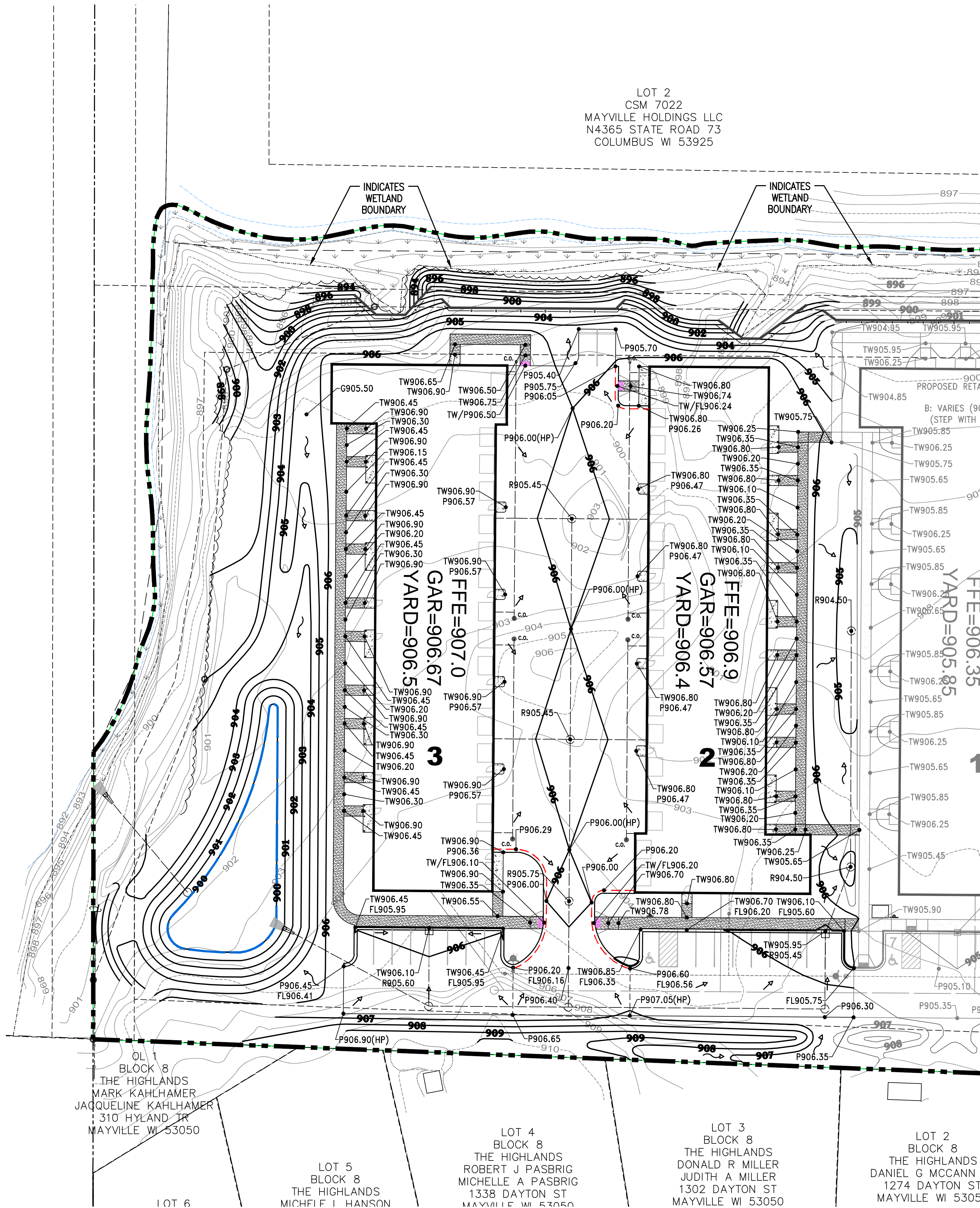
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CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
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LEGEND:	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FLOW ARROW
	PROPOSED YARD GRADE
	PROPOSED GARAGE GRADE
	PROPOSED FIRST FLOOR ELEVATION



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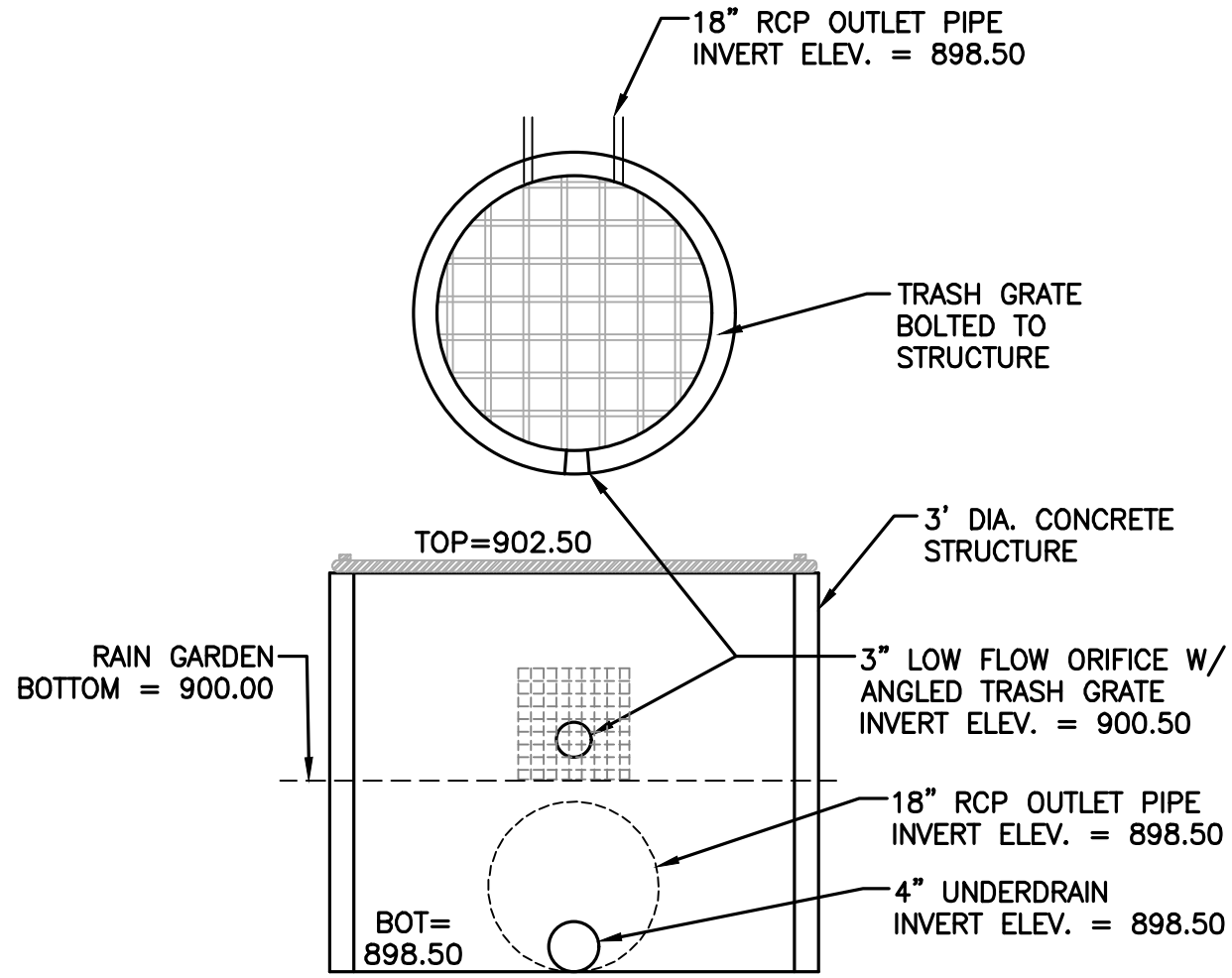
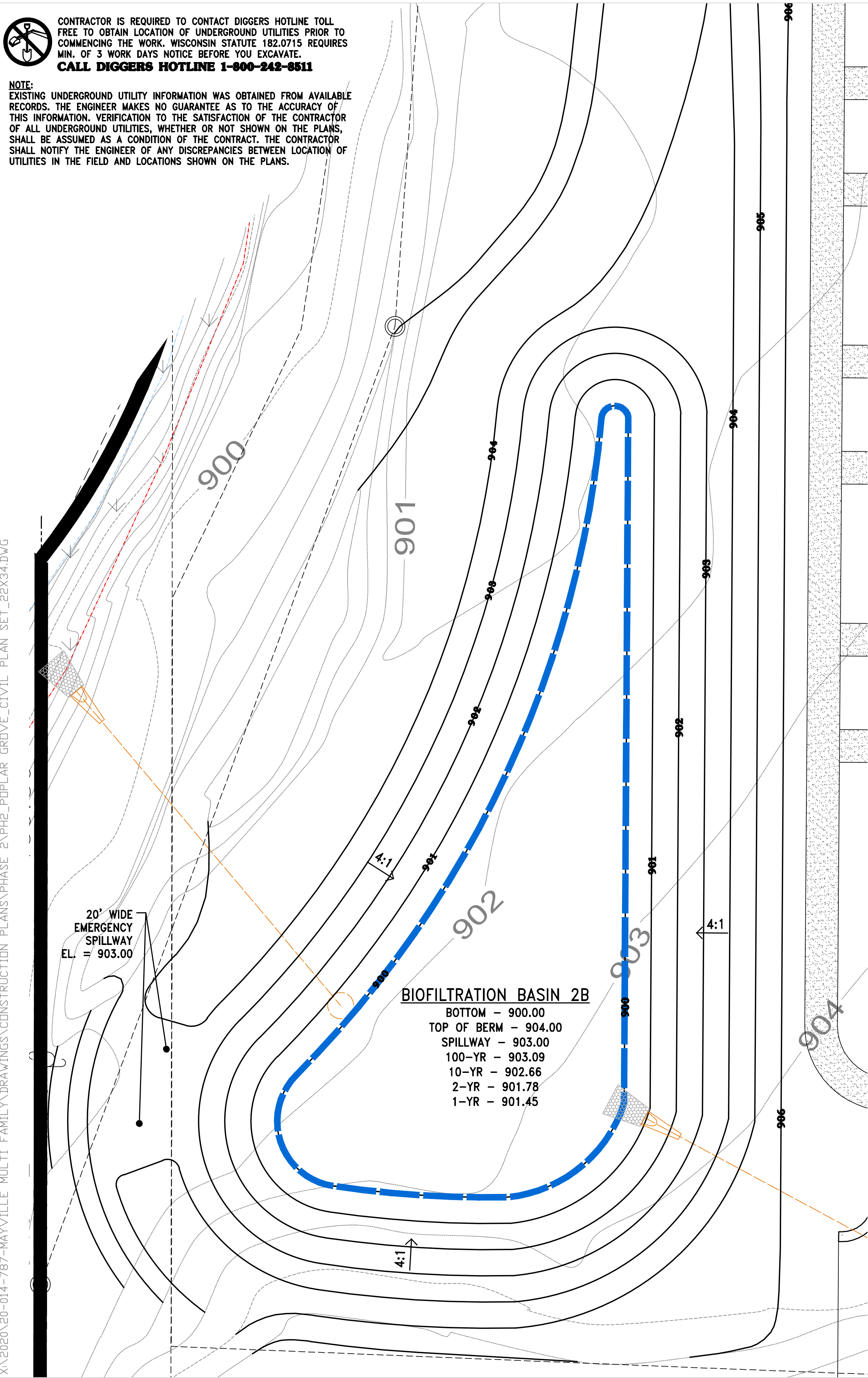
DESCRIPTION:
GRADING & DRAINAGE PLAN

SHEET

C2.0

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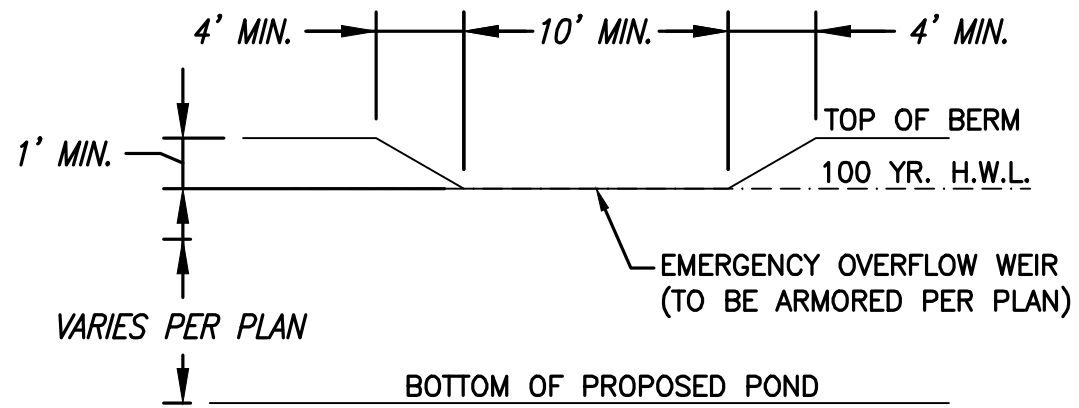
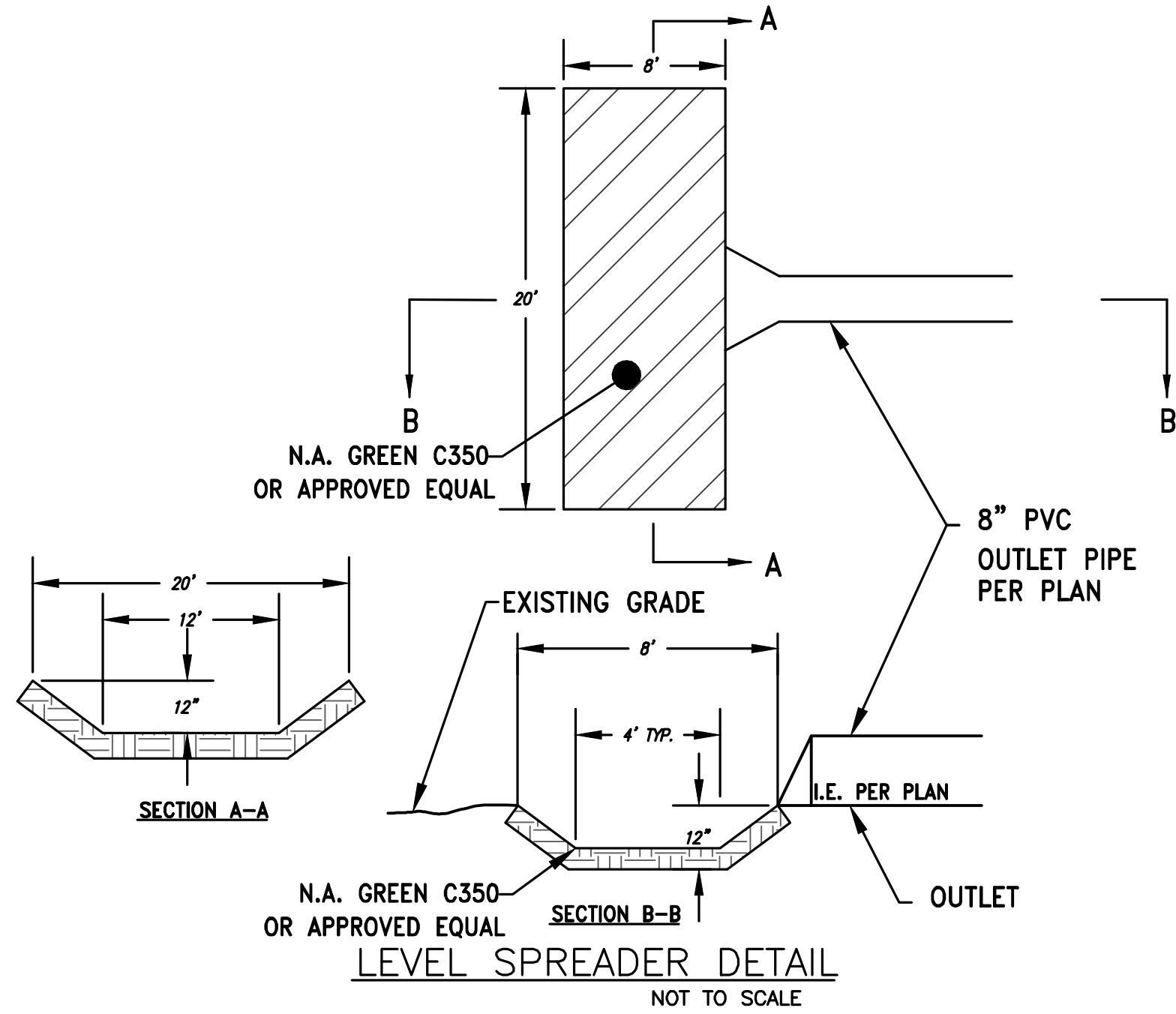
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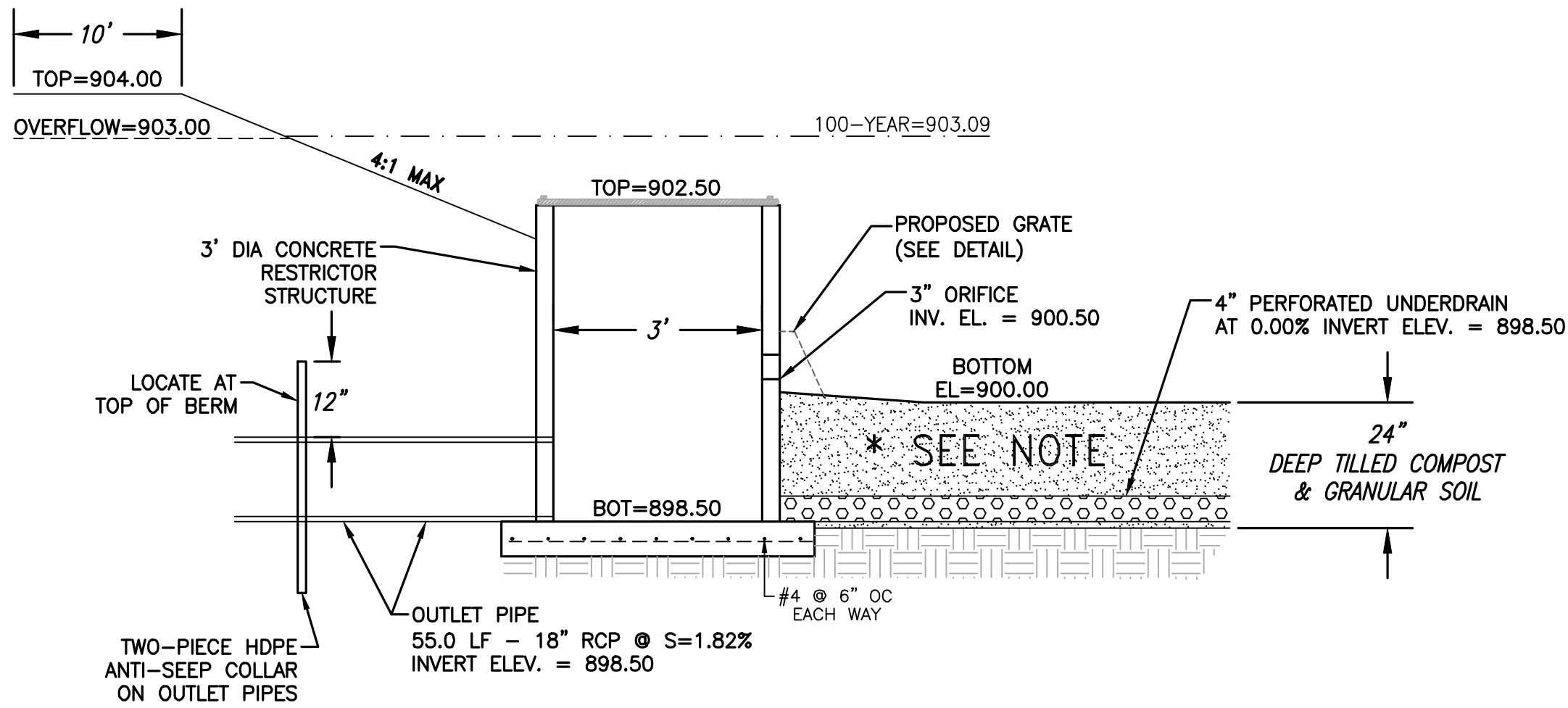
RESTRICTOR R-1 DETAIL
NOT TO SCALE



12"x12" ANGLE GRATE BY HAALA INDUSTRIES
(OR APPROVED EQUAL)



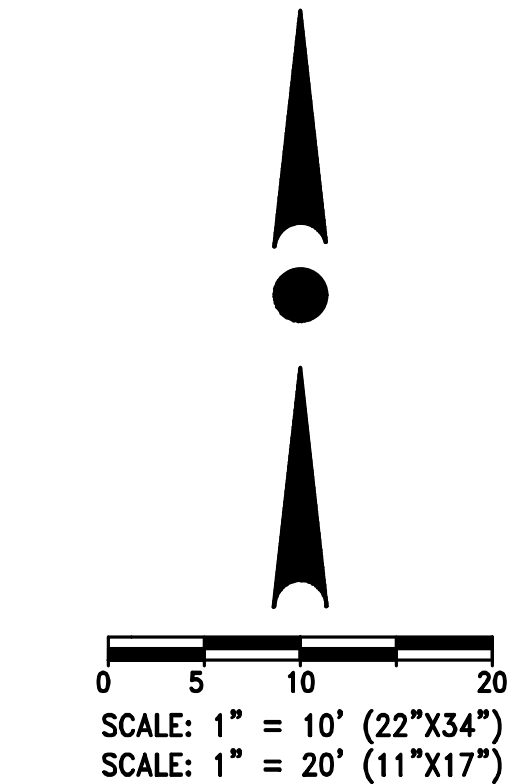
BASIN 2B EMERGENCY OVERFLOW WEIR DETAIL
NOT TO SCALE



TWO-PIECE ANTI-SEEP COLLAR NOTES:
- ANTI-SEEP COLLAR MATERIAL SHALL MATCH OUTLET PIPE MATERIAL.
- ANTI-SEEP COLLARS SHALL BE 1/4" POLYETHYLENE SHEETS WITH COLLAR FOR PIPE; DIMENSIONS SHALL BE AS NOTED ON THE DETAIL.
- INSTALL ANTI-SEEP COLLARS PER MANUFACTURER SPECIFICATIONS.

BIOFILTRATION BASIN 2B & OUTFALL STRUCTURE DETAIL
NOT TO SCALE

- BIOFILTRATION BASIN CONSTRUCTION GENERAL NOTES**
- TRACKED EQUIPMENT AND LOW WEIGHT VEHICLES SHALL BE USED TO CONSTRUCT BASIN.
 - BASIN SHALL BE CONSTRUCTED IN A MANNER THAT MINIMIZES SOIL COMPACTION.
 - THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS S100 - COMPOST.
 - REFER TO THE PROPOSED LANDSCAPING PLAN FOR BASIN PLANTINGS.
 - ALL BASIN SLOPES 4:1 OR GREATER SHALL BE PROVIDED WITH CLASS I, TYPE A EROSION MATTING.
 - SOIL TESTS SHOULD BE COMPLETED PRIOR TO BASIN CONSTRUCTION TO VERIFY THE DEPTH TO APPROPRIATE SOILS; A QUALIFIED SOILS PROFESSIONAL SHALL BE ON-SITE TO VERIFY THAT APPROPRIATE DEPTHS ARE REACHED TO HELP ENSURE THE BASIN FUNCTIONS PROPERLY.



LEGEND:	
850	EXISTING CONTOUR
850	PROPOSED CONTOUR
785.00	PROPOSED SPOT ELEVATION
←	PROPOSED FLOW ARROW
YARD=842.0-	PROPOSED YARD GRADE
GAR=842.0-	PROPOSED GARAGE GRADE
FFE=842.0-	PROPOSED FIRST FLOOR ELEVATION



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JOB NUMBER:
20-014-1149

DESCRIPTION:
POND DETAIL

SHEET
C2.1

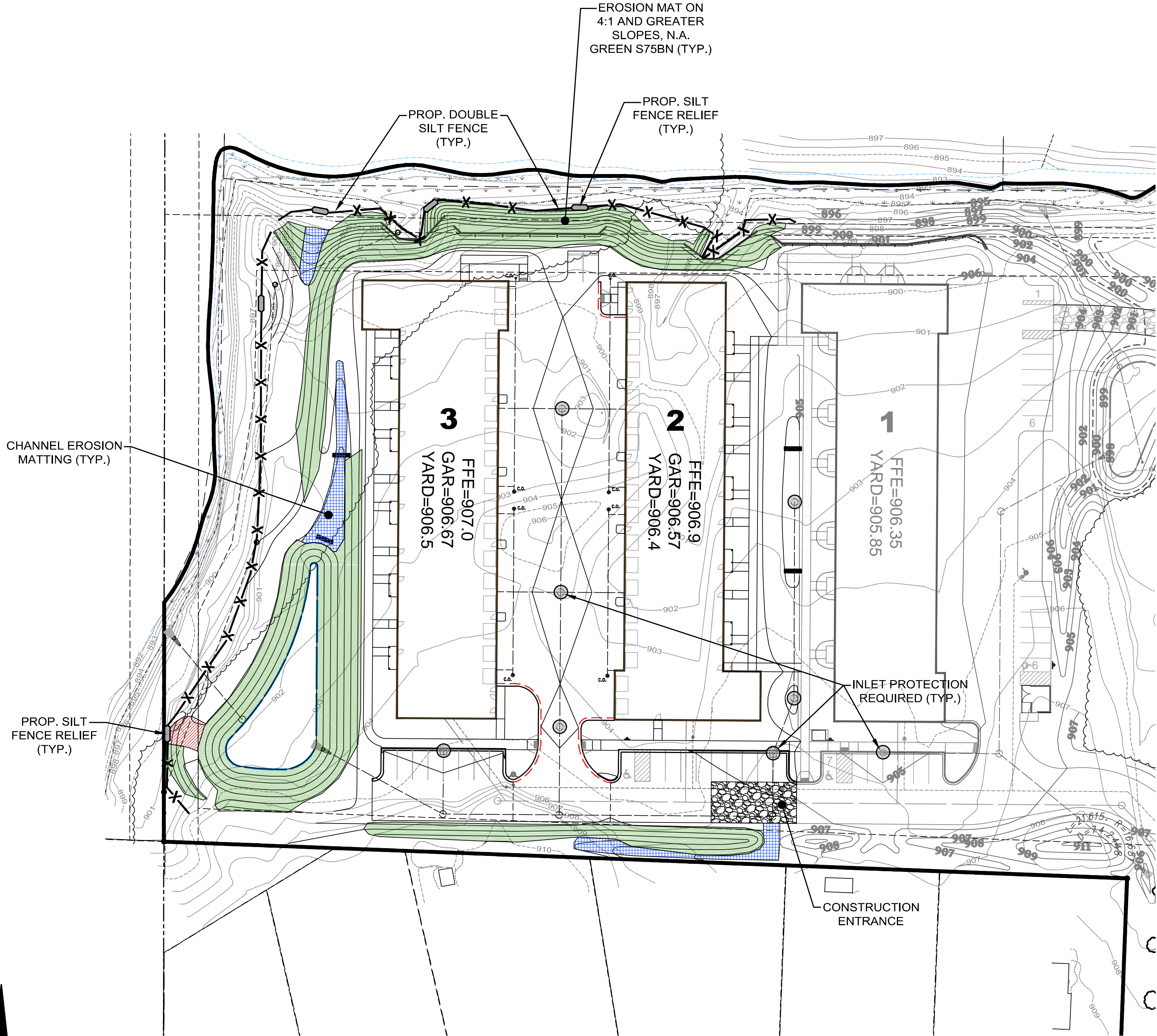
X:\2020\20-014-787-MAYVILLE MULTI FAMILY\DRAWINGS\CONSTRUCTION PLANS\PHASE 2\PH2_POPLAR GROVE_CIVIL PLAN SET_22X34.DWG



SCALE: 1" = 40' (22"x34")
SCALE: 1" = 80' (11"x17")

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CONSTRUCTION SEQUENCE PLAN

1. INSTALL PERIMETER SILT FENCE AND TRACKING PAD.
2. CLEAR AND GRUB EXISTING VEGETATION AFTER SILT FENCE AND TRACKING PAD ARE COMPLETED.
3. STRIP TOPSOIL AND STOCKPILE. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH, SEED AND BLANKET IMMEDIATELY FOLLOWING CONSTRUCTION.
4. ROUGH GRADE SITE. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
5. INSTALL WATER MAIN AND STORM SEWER. NOTE THAT UTILITY INSTALLATION MAY COMMENCE CONCURRENT WITH SITE GRADING. SITE ACCESS SHALL BE COORDINATED DURING WATER MAIN INSTALLATION, SEE TEMPORARY CONSTRUCTION ACCESS NOTE.
6. BUILDING CONSTRUCTION MAY COMMENCE AS ALLOWED BY CITY OF MAYVILLE BUILDING PERMIT. EROSION CONTROL MEASURES AND WATER MAIN TO BE INSTALLED PRIOR TO COMMENCING.
7. FINISH GRADE SITE. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY TO STABILIZE SITE.
6. INSTALL WET POND PER PLANS. STABILIZE WET POND SLOPES WITH SEED & EROSION CONTROL MATTING IMMEDIATELY AFTER CONSTRUCTION. IF AREAS SHEET DRAINING TO THE BASINS ARE NOT STABILIZED PRIOR TO POND INSTALLATION, PROVIDE STRAW WATTLES AT THE TOP OF SLOPE TO MINIMIZE BASIN SIDE SLOPE EROSION AND SEDIMENT DEPOSITION INTO THE BASINS.
7. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. SITE SHALL BE WITHIN 4" OF FINAL GRADE PRIOR TO ELECTRICAL SERVICE INSTALLATION, PER CITY REQUIREMENTS.
8. INSTALL STONE BASE, SIDEWALK, CURB AND PAVEMENT FOR ENTRY DRIVE WITH PARKING. PAVING, SIDEWALK, AND CURB MAY BE PHASED TO COINCIDE WITH THE BUILDING CONSTRUCTION SCHEDULE.
9. COMPLETE LANDSCAPING AND FINAL STABILIZATION AROUND BUILDING CONCURRENT WITH BUILDING CONSTRUCTION. AT THE TIME OF FINAL STABILIZATION CONTRACTOR TO REESTABLISH THE STORM WATER FACILITY TO THE PROPOSED FINAL GRADES, REMOVING ALL SILT. IF FINALIZATION OF THE SITE DOES NOT OCCUR PRIOR TO OCTOBER 15TH, REFER TO WINTER STABILIZATION NOTE AND SPECIFICATIONS.
10. REMOVE PERIMETER SILT FENCE AND CLOSE OUT CONSTRUCTION SITE PERMITS ONCE THE SITE IS SUBSTANTIALLY VEGETATED (>70% GROUND COVER).

WINTER STABILIZATION PROVISIONS:
IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH CITY ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.

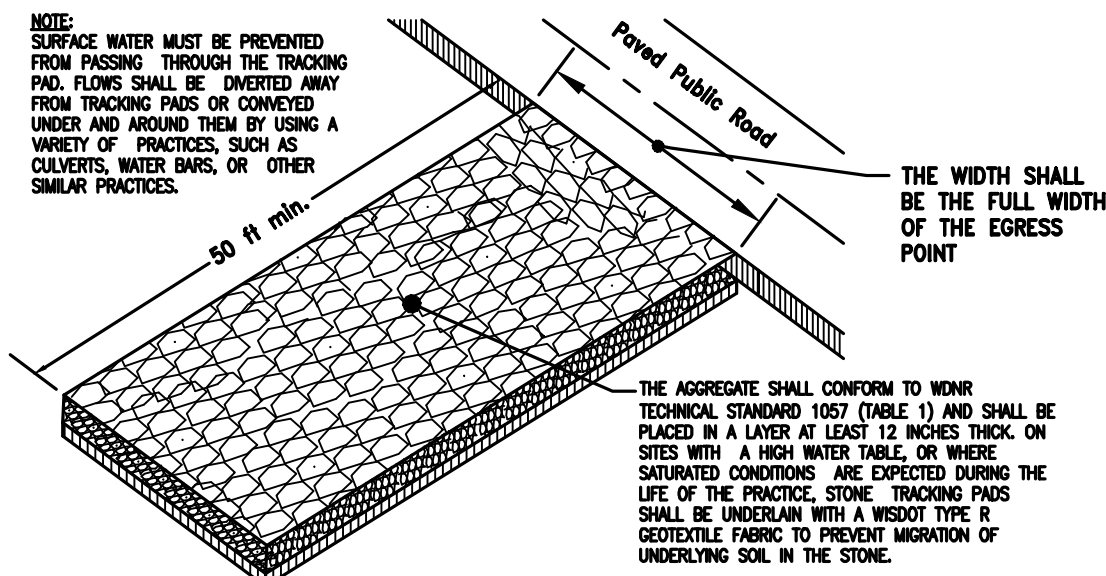
NOTES:
-ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH
-ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND CITY OF MAYVILLE REQUIREMENTS AND STANDARDS

WISCONSIN DEPARTMENT OF NATURAL RESOURCES. CONSERVATION PRACTICE STANDARD:
1052 - NON-CHANNEL EROSION MAT
1053 - CHANNEL EROSION MAT
1055 - SEDIMENT BALE BARRIER (NON-CHANNEL)
1056 - SILT FENCE
1060 - STORM INLET PROTECTION FOR CONST. SITES
1062 - DITCH CHECK
1057 - STONE TRACKING PAD AND TIRE WASHING
1058 - MULCHING FOR CONSTRUCTION SITES
1059 - TEMPORARY SEEDING
1061 - DE-WATERING
1063 - SEDIMENT TRAP
1064 - SEDIMENT BASIN

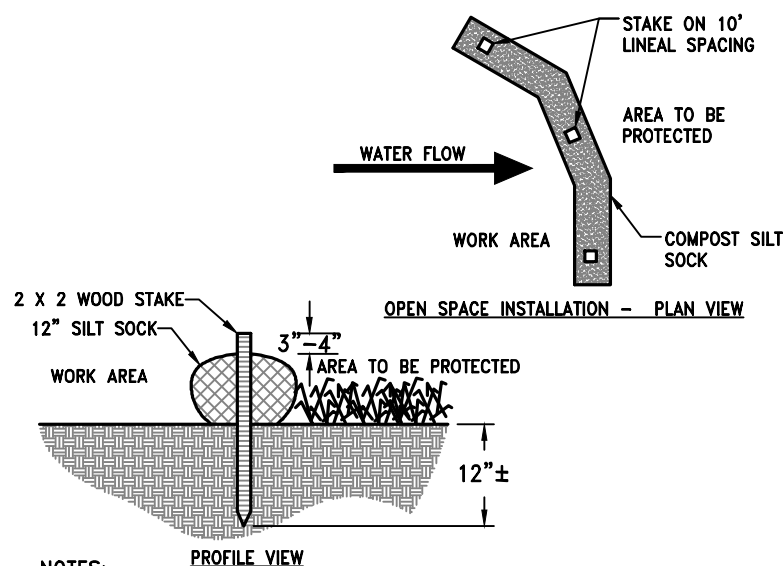
TEMPORARY DEWATERING GEOTEXTILE BAG

1. IF DEWATERING IS REQUIRED, A GEOTEXTILE DEWATERING BAG MEETING THE SPECIFICATIONS IN THE TABLE TO THE RIGHT SHALL BE UTILIZED AS STATED ON THE EROSION CONTROL PLAN.
2. REFER TO WDNR TECHNICAL STANDARDS 1061 AND MANUFACTURERS REQUIREMENTS FOR INSTALLATION AND MAINTENANCE REQUIREMENTS.
3. CONTRACTOR MAY USE THRACE-LINQ, INC 275EX GEOTEXTILE BAG, OR FUNCTIONAL EQUIVALENT TO MEET TECHNICAL STANDARD REQUIREMENTS.
4. CONTRACTOR MAY INSTALL HAY BALES AROUND DEWATERING BAG FOR STABILIZATION AS DICTATED BY SITE CONDITIONS.
5. MAX FLOW RATE SHALL NOT EXCEED 100GPM

Property	Test Method	Type I Value
Maximum Apparent Opening Sizes	ASTM D-4751	0.212 mm
Grab Tensile Strength	ASTM D-4632	200 lbs.
Mullen Burst	ASTM D-3786	350 psi
Permeability	ASTM D-4491	0.28 cm/sec
Fabric	Nominal Representative Weight	8 oz



CONSTRUCTION ENTRANCE DETAIL
NO SCALE



- NOTES:
1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS. SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
 4. INSTALL EVERY 200' OR 2' GRADE DROP IN SWALES.

STRAW WATTLE
DITCH CHECK INSTALLATION DETAIL
NO SCALE

	TEMP. EROSION MATTING N.A. GREEN S75BN CLASS I URBAN, TYPE B
	CHANNEL EROSION MATTING KEP-C100 NATURAL CLASS II, TYPE C
	OVERFLOW SPILLWAY MATTING N.A. GREEN C350 CLASS III, TYPE A

LEGEND:	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED TRACKING PAD
	PROPOSED SPOT ELEVATION FFE=850.0
	PROPOSED YARD GRADE FFE=850.0



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REVISION HISTORY

DATE	DESCRIPTION
07/31/2024	INITIAL SUBMITTAL

DATE:
JULY 31, 2024

JOB NUMBER:
20-014-1149

DESCRIPTION:
EROSION CONTROL PLAN

SHEET

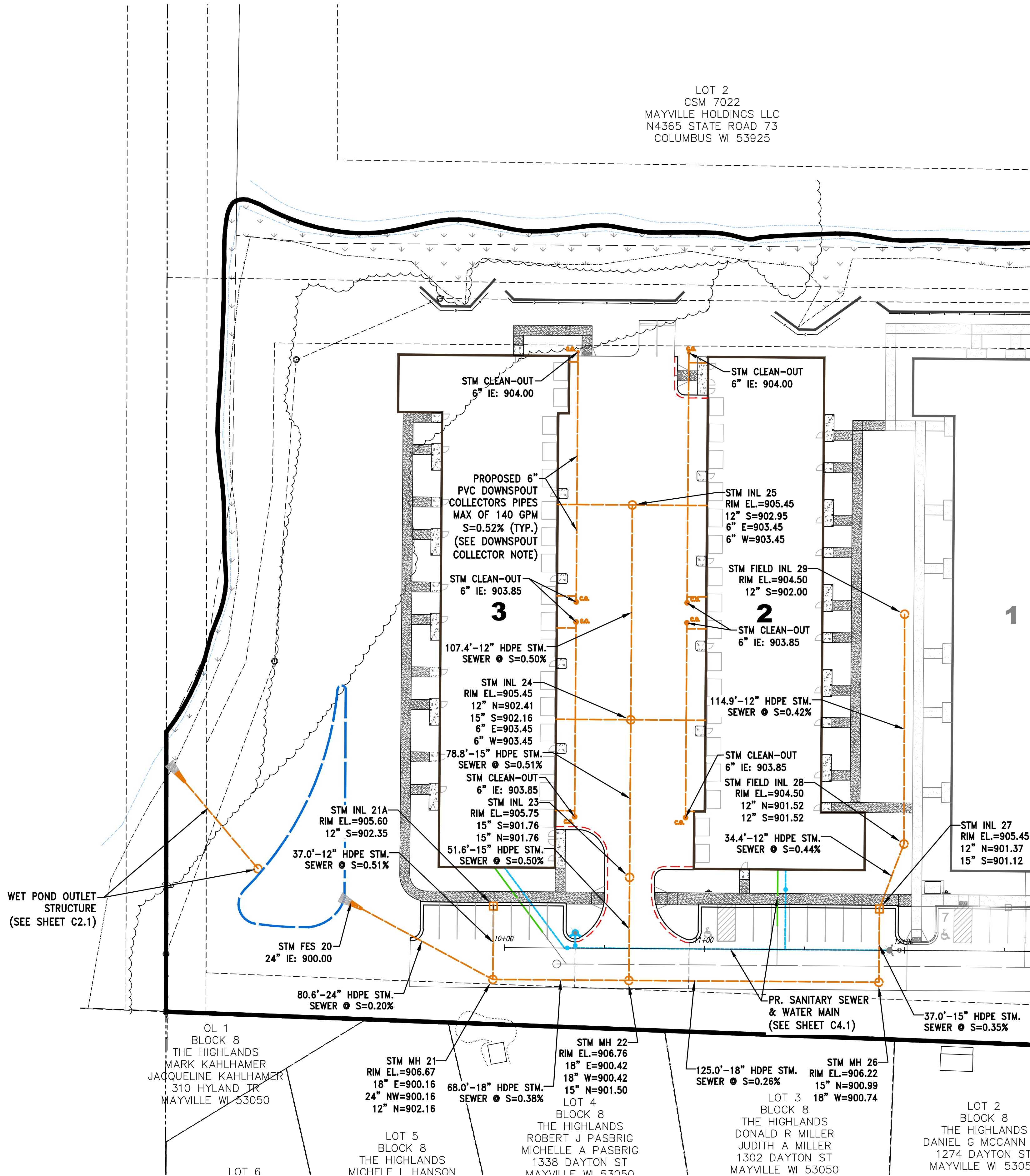
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DOWNSPOUT COLLECTOR NOTE

- DOWNSPOUT COLLECTOR PIPES SHALL BE 6" PVC PIPE.
- HAVE A SLOPE OF 0.52%.
- HAVE A MINIMUM OF 1.5 FT OF COVER.

NOTE:
DOWNSPOUT LOCATION AT BUILDING ARE APPROXIMATE.
SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

0 15 30 60
SCALE: 1" = 30' (22"x34")
SCALE: 1" = 60' (11"x17")

LEGEND:

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED STORM END SECTION
- PROPOSED WATER VALVE
- PROPOSED HYDRANT



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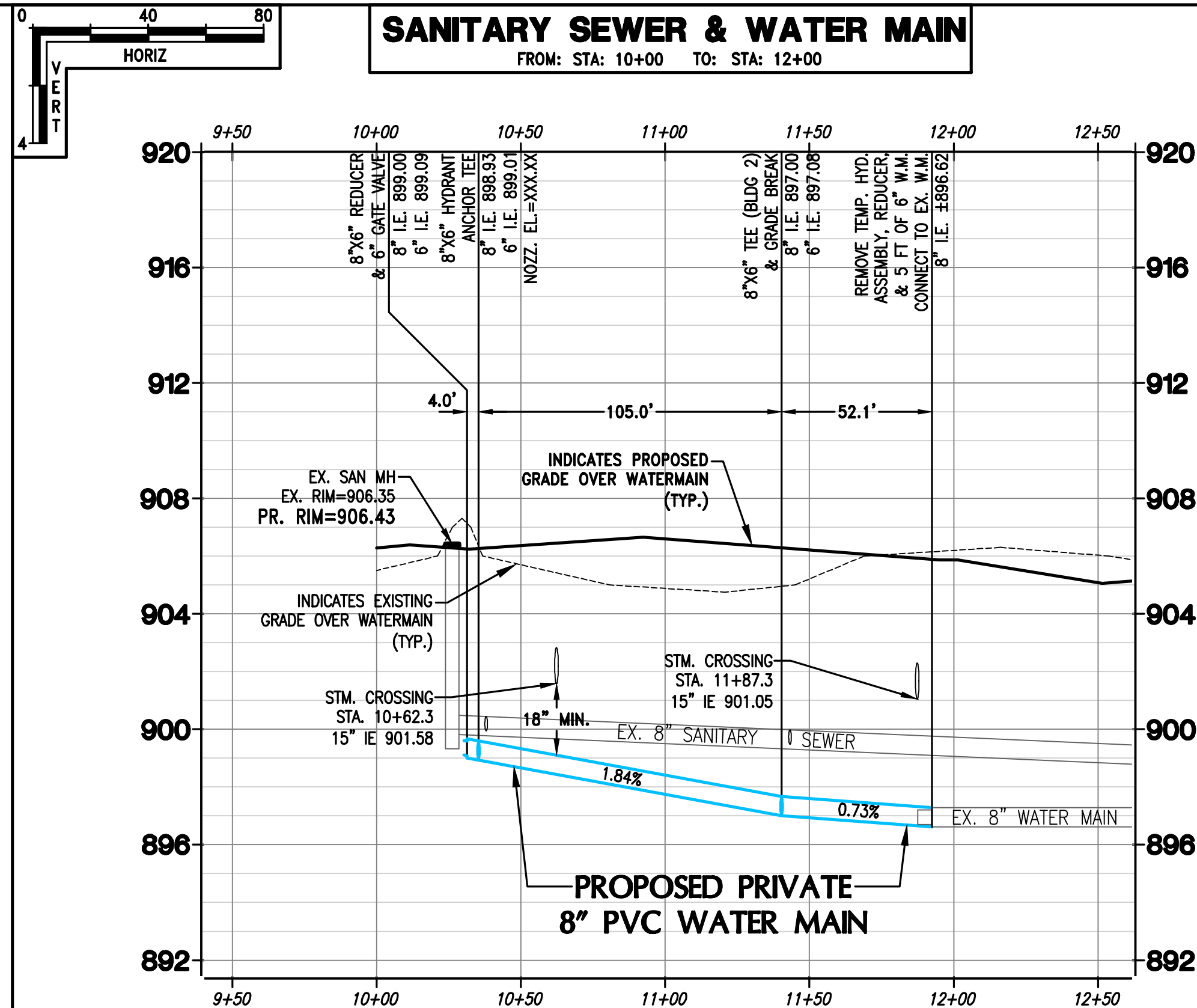
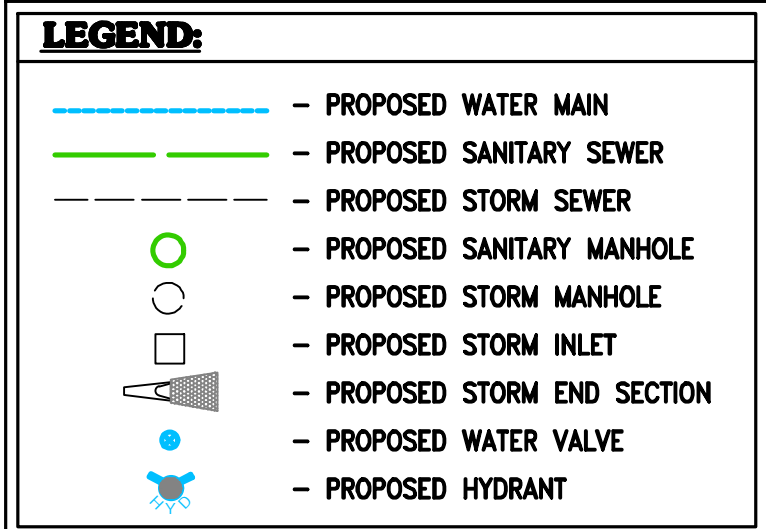
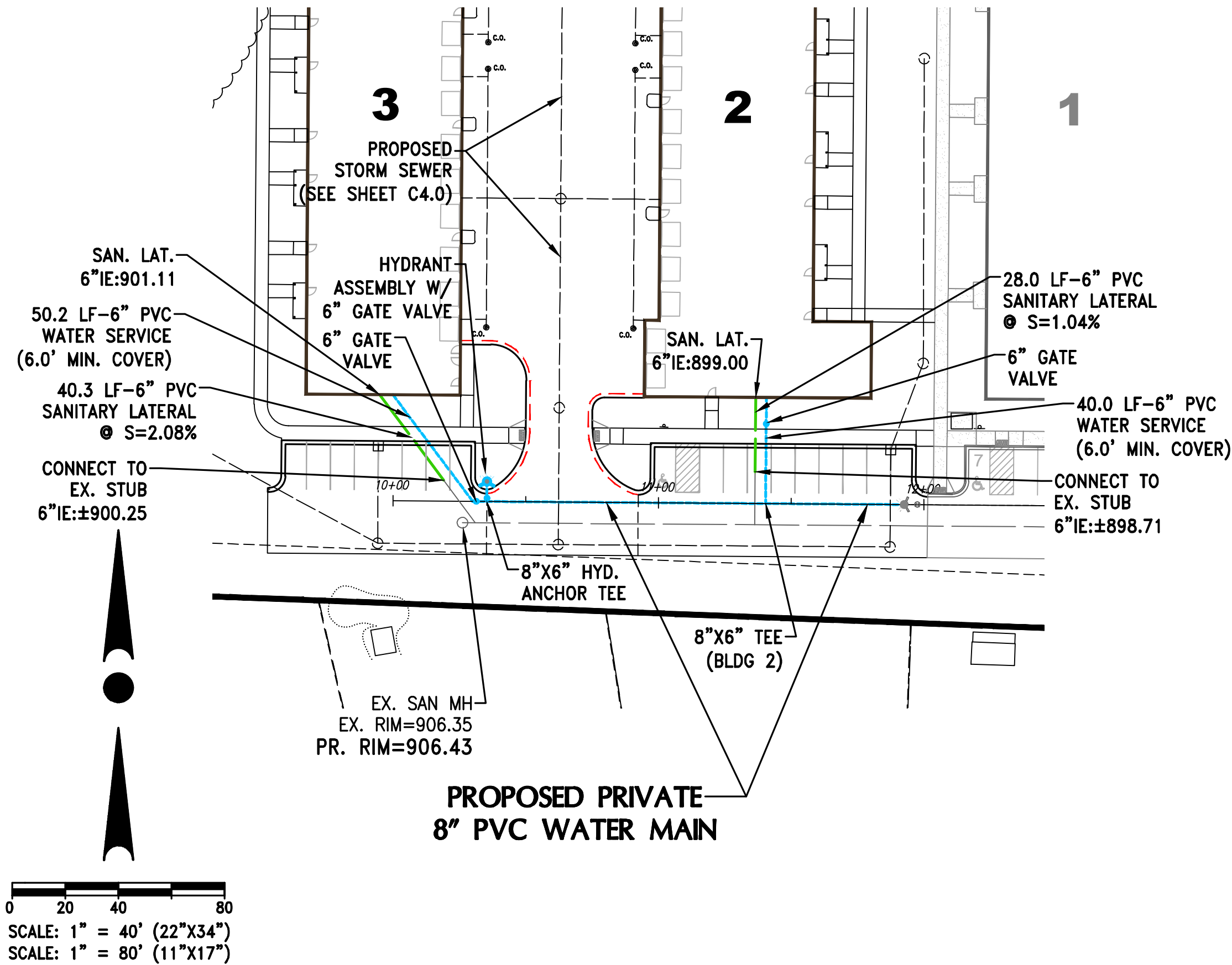
UTILITY PLAN

SHEET

C4.0

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DESCRIPTION:
SANITARY AND WATER PLAN & PROFILE

SHEET

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COMPLIANT DOCUMENTATION:

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDMR STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- CITY OF MAYVILLE DEVELOPMENT STANDARDS, LATEST EDITION.

CONTRACTOR RESPONSIBILITY:

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-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE COSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER CITY, COUNTY AND WDMR REQUIREMENTS PER TECHNICAL STANDARD 1061.

TRAFFIC CONTROL:

-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

CONSTRUCTION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
- ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
- ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, CITY OF OAK CREEK SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
- INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDMR TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
- UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL BE REVEGATATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
- REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER. CHANGES TO THE EROSION CONTROL PLAN MUST BE APPROVED BY THE WISCONSIN DNR AND THE CITY OF OAK CREEK PRIOR TO IMPLEMENTATION OF THOSE CHANGES.
- IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDED AS OF THAT DATE. IF CONSTRUCTION ACTIVITIES DO TAKE PLACE AFTER THIS DATE, WINTER STABILIZATION IS REQUIRED FOR ALL LAND DISTURBANCES. ALL DISTURBED AREAS MUST EITHER BE MATTED AND/OR TREATED WITH SOIL STABILIZER PER WDMR REFERENCED STANDARD BELOW. AREAS THAT ARE PROPOSED TO BE GRAVEL OR HARDSCAPE SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF DISTURBANCE, EITHER BY PLACING GRAVEL OR BY THE METHODS DESCRIBED ABOVE. THESE STABILIZATION METHODS MUST BE APPLIED PRIOR TO FROZEN GROUND CONDITIONS.

- TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.

- ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.

- ALL SEDIMENT BASINS, SWALES AND DIVERSION BERMS SHALL BE STABILIZED WITH SEED AND EROSION MAT PRIOR TO USE.

- TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS. EXCAVATIONS BELOW THE WATER TABLE MAY REQUIRE SPECIALIZED METHODS OF DEWATERING. THE CONTRACTOR SHALL DETERMINE THE ACTUAL SEASONAL HIGH GROUND WATER LEVEL FOR THE SITE AT THE TIME OF CONSTRUCTION, AND DETERMINE IF EXCAVATIONS WILL BE CONDUCTED BELOW THAT ELEVATION. FOR EXCAVATIONS BELOW THE SEASONAL HIGH WATER TABLE, A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO DETERMINE THE APPROPRIATE METHODS OF DEWATERING, BASED ON ACTUAL WATER ELEVATION, SOIL CONDITIONS AND DEPTH OF EXCAVATIONS. PLEASE NOTE THAT THE SEASONAL HIGH WATER TABLE SHOULD BE EXPECTED TO FLUCTUATE THROUGHOUT THE YEAR DEPENDING ON VARIATIONS IN CLIMATOLOGICAL CONDITIONS AND OTHER FACTORS. THE DEWATERING METHODS DETERMINED THROUGH THE STEPS ABOVE SHALL BE REVISED AS CONDITIONS FLUCTUATE.

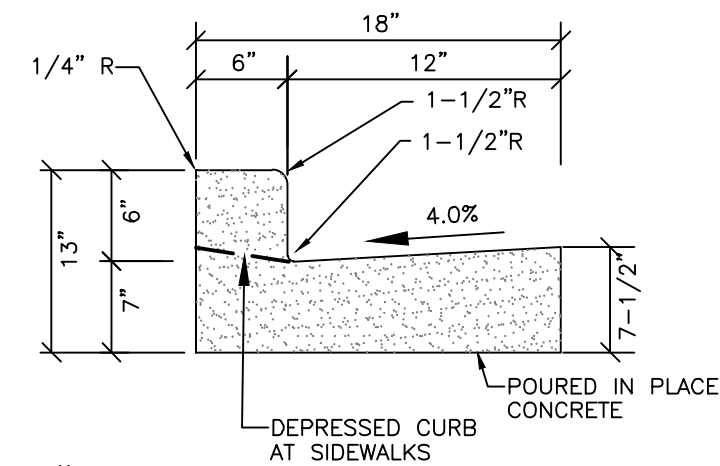
- INSTALL SILT FENCE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD DETAILS

- ALL RIP RAP AT PIPE OUTLETS SHALL BE 3'x5" MEDIUM RIP RAP OVER TYPE HR GEOTEXTILE FABRIC PER WISDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.

- EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.

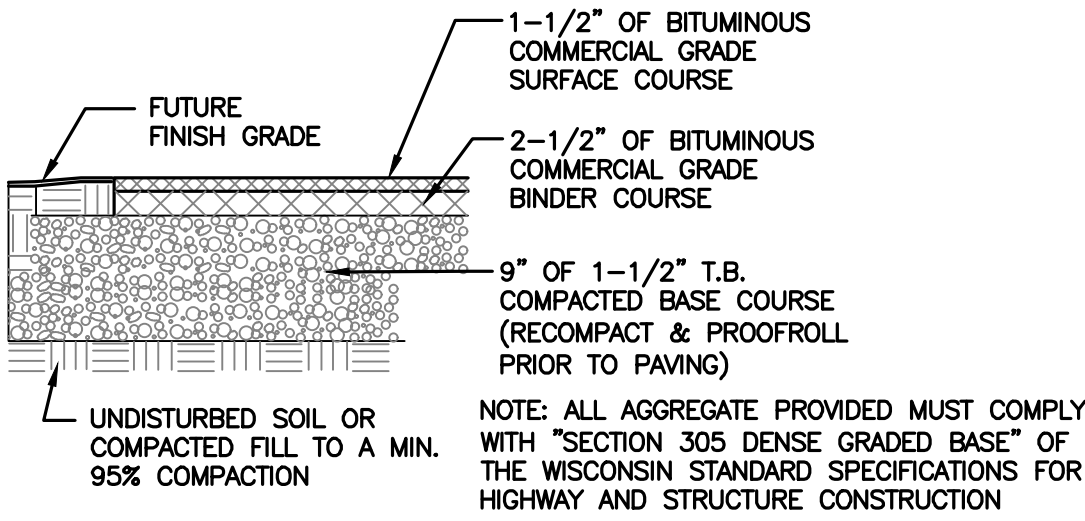
- ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WISDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

- TOPSOIL AND MATERIAL STOCKPILES SHALL NOT BE PLACED WITHIN 25 FEET OF A WETLAND.



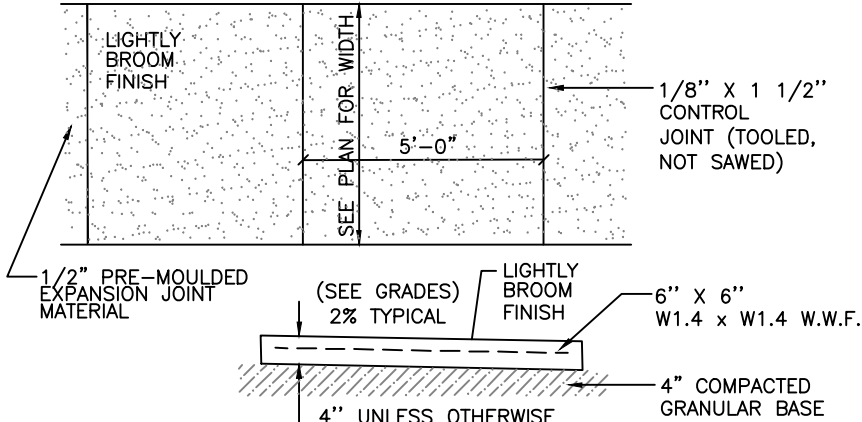
18" CONCRETE CATCH CURB & GUTTER

- NO SCALE
- NOTES:
- SEE PROPOSED SITE PLAN FOR LIMITS OF PROPOSED CATCH CURB & GUTTER.
 - PROVIDE DEPRESSED CURB HEAD AT VEHICLE ROUTES (DRIVEWAYS) AND CURB RAMPS. DEPRESSED CURB HEAD TO RAISE 1/2" MAX. (8.33% SLOPE) FROM FLOW LINE TO BACK OF CURB.



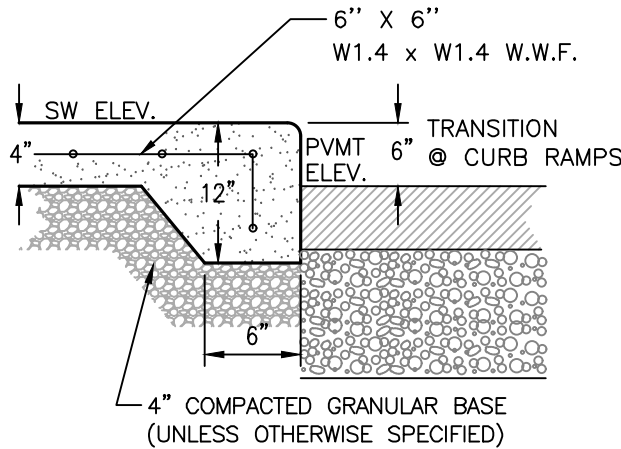
PARKING LOT ASPHALT PAVING DETAIL

NO SCALE



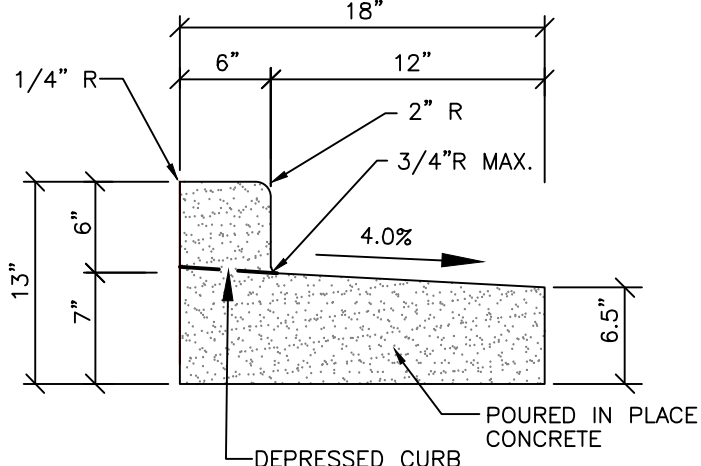
PRIVATE CONCRETE SIDEWALK

NO SCALE
NOTE: SEE C5.1 FOR PUBLIC SIDEWALK DETAIL.



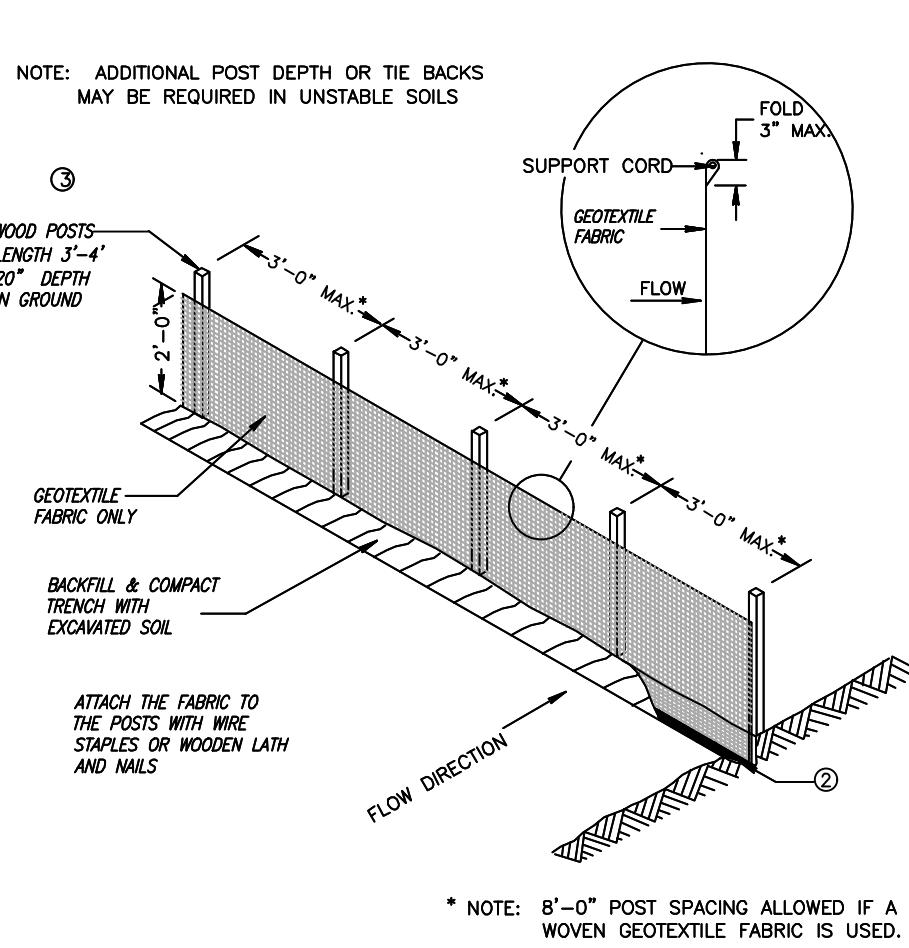
INTEGRAL SIDEWALK & BARRIER CURB

(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS) NO SCALE

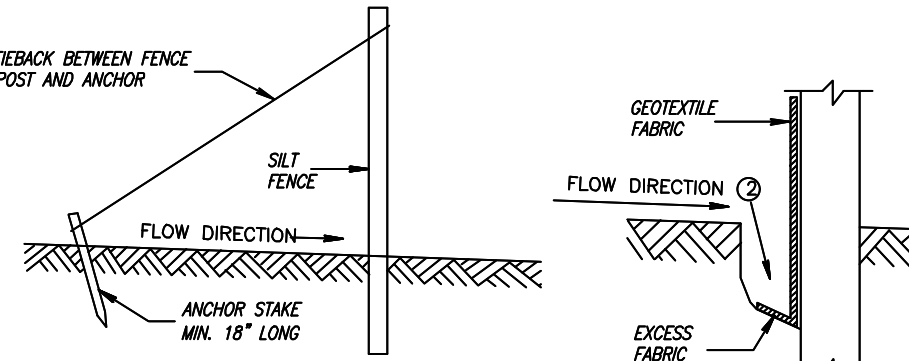


18" REJECT CURB & GUTTER DETAIL

- NO SCALE
- NOTES:
- SEE PROPOSED SITE PLAN FOR LIMITS OF PROPOSED REJECT CURB & GUTTER.
 - PROVIDE DEPRESSED CURB HEAD AT VEHICLE ROUTES (DRIVEWAYS) AND CURB RAMPS. DEPRESSED CURB HEAD TO RAISE 1/2" MAX. (8.33% SLOPE) FROM FLOW LINE TO BACK OF CURB.



SILT FENCE

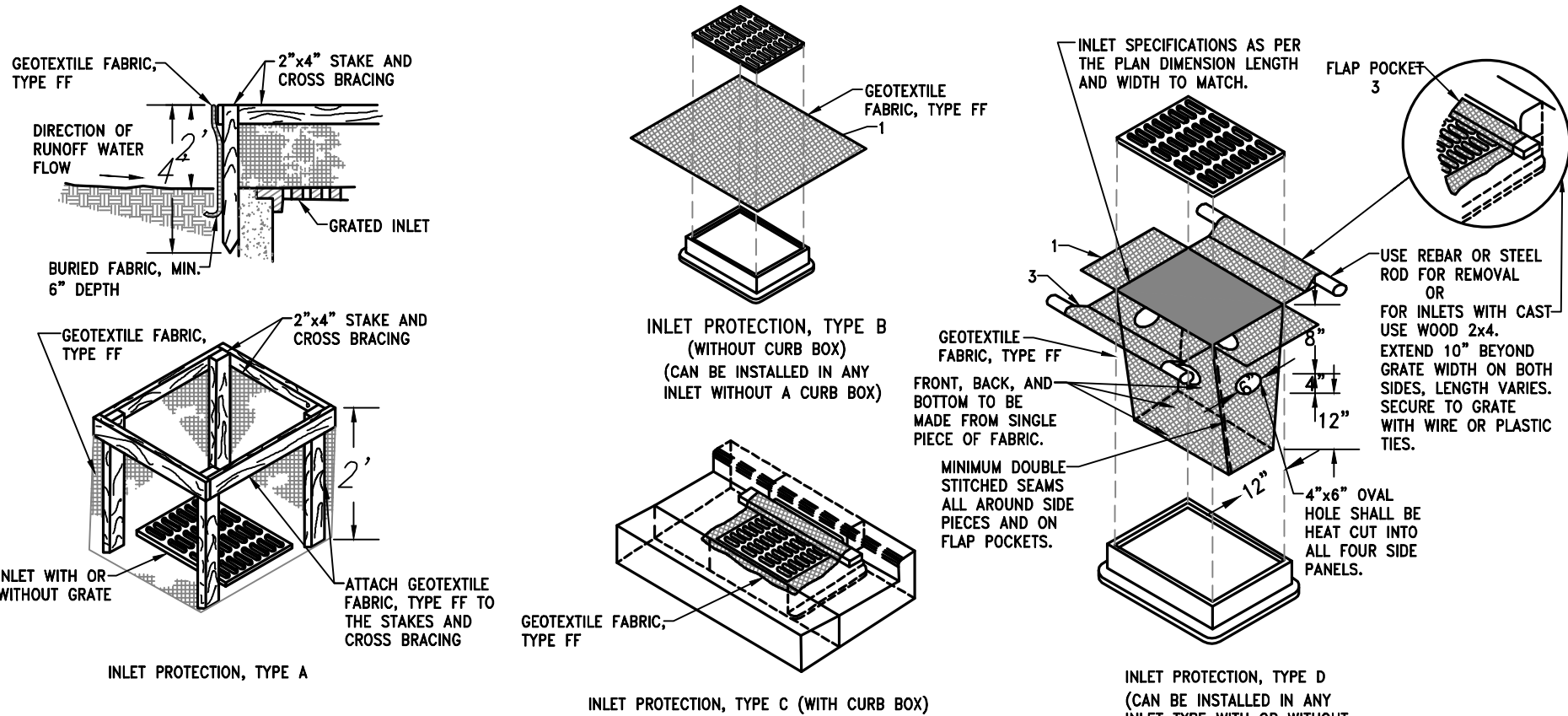


SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT REQUIRED)

SILT FENCE INSTALLATION DETAIL

NO SCALE



GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

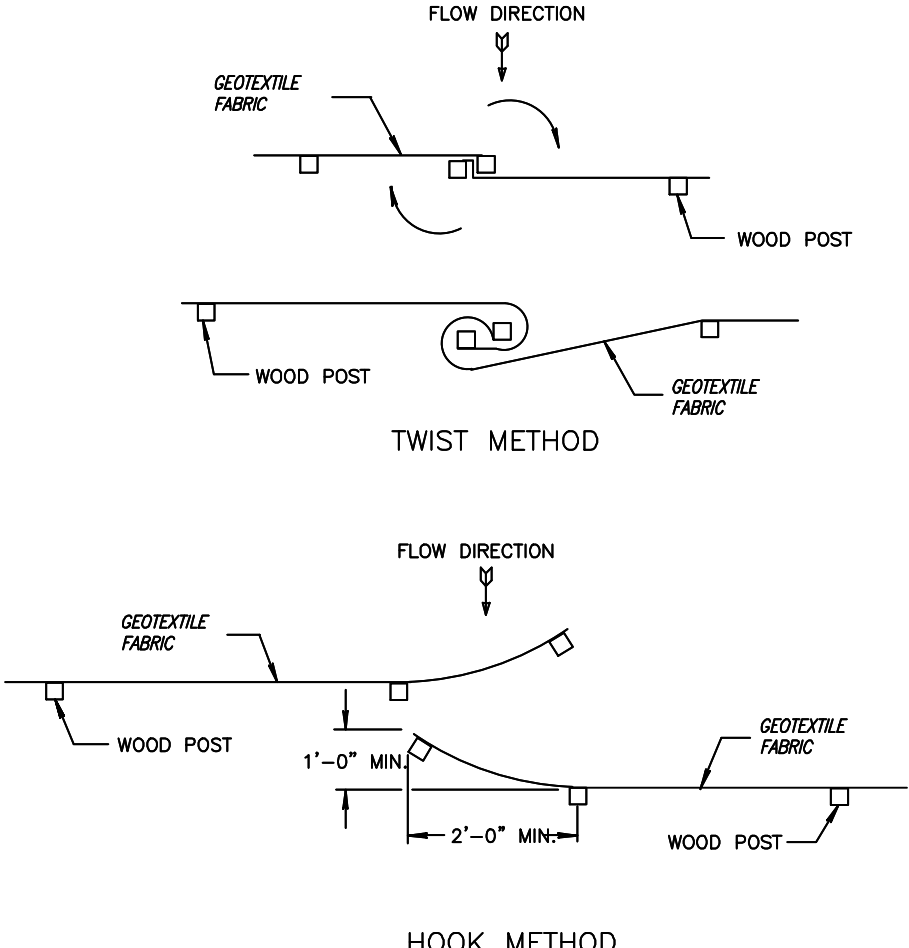
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX). AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INLET PROTECTION DETAIL

NO SCALE



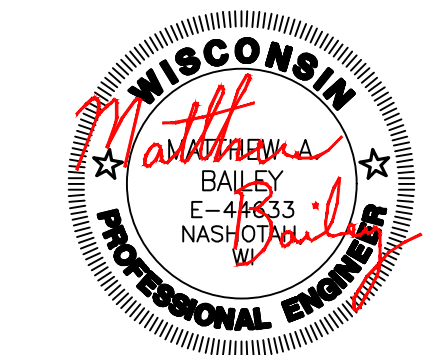
JOINING TWO LENGTHS OF SILT FENCE

⑤

GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



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PROJECT:
THE APARTMENTS AT POPLAR GROVE - PHASE 2
CITY OF MAYVILLE, WISCONSIN
BY: DAYTON ONE, LLC c/o INTEGRIS
W124 N9899 WASAUKEE RD.
GERMANTOWN, WI 53022

REVISION HISTORY

DATE	DESCRIPTION
07/31/2024	INITIAL SUBMITTAL

DATE:
JULY 31, 2024

JOB NUMBER:
20-014-1149

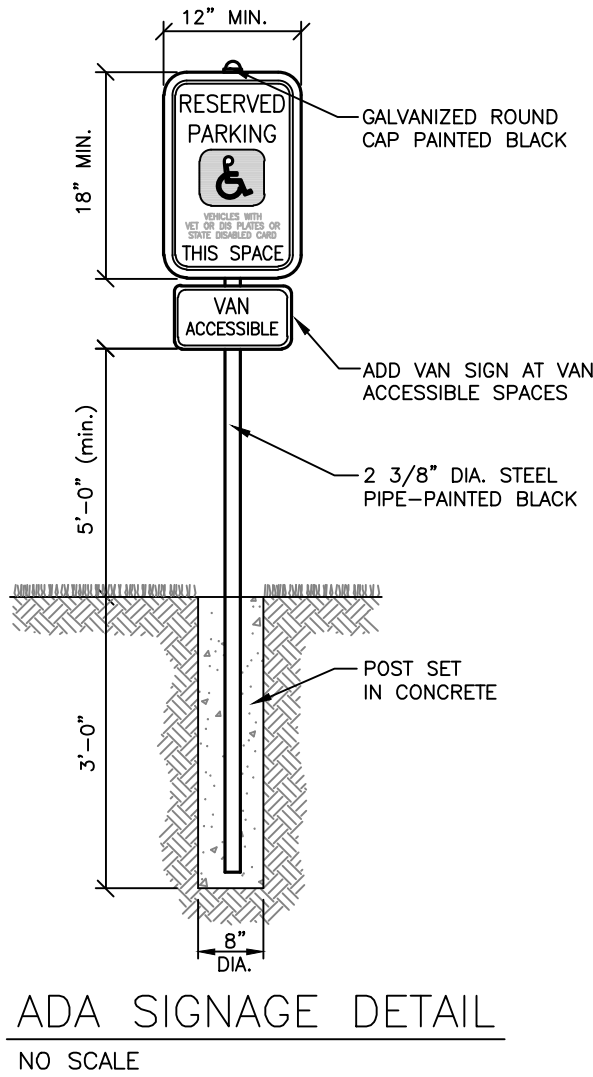
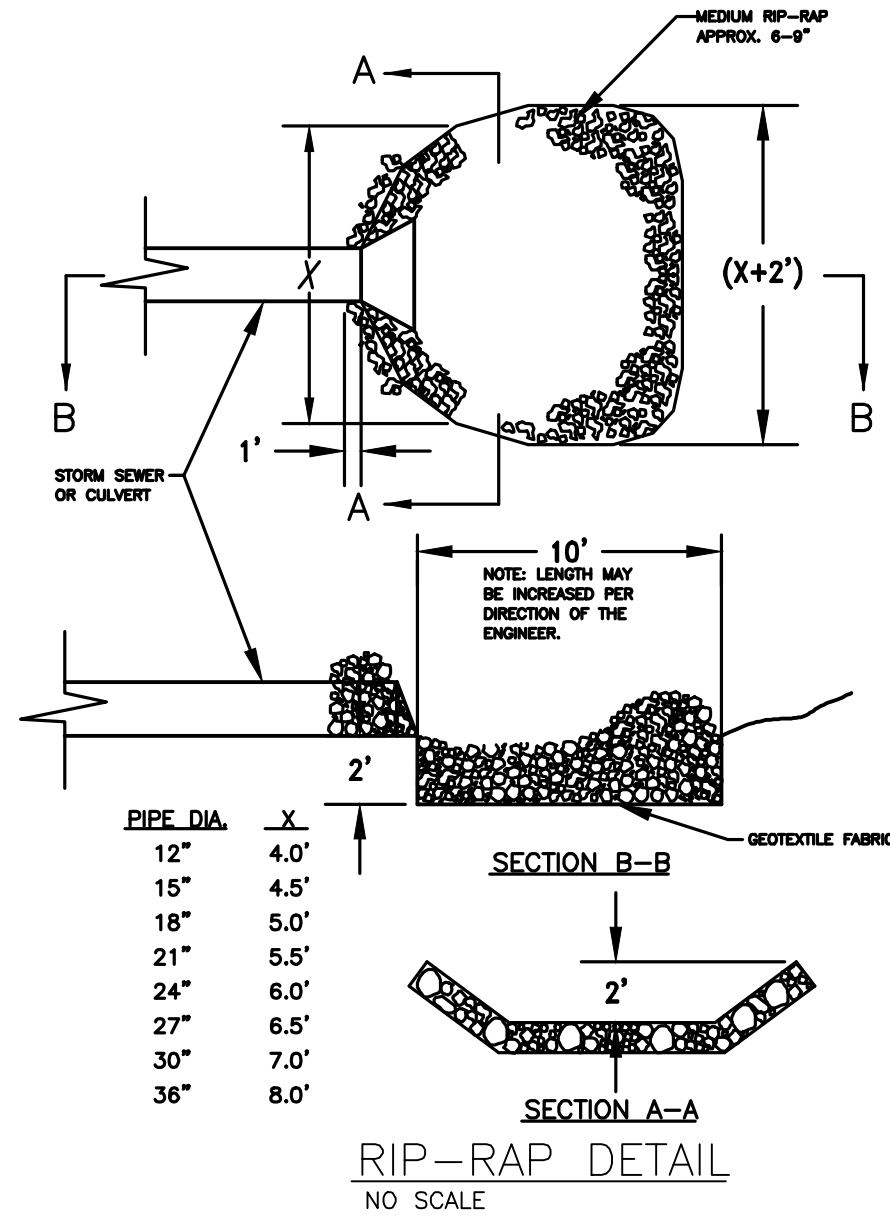
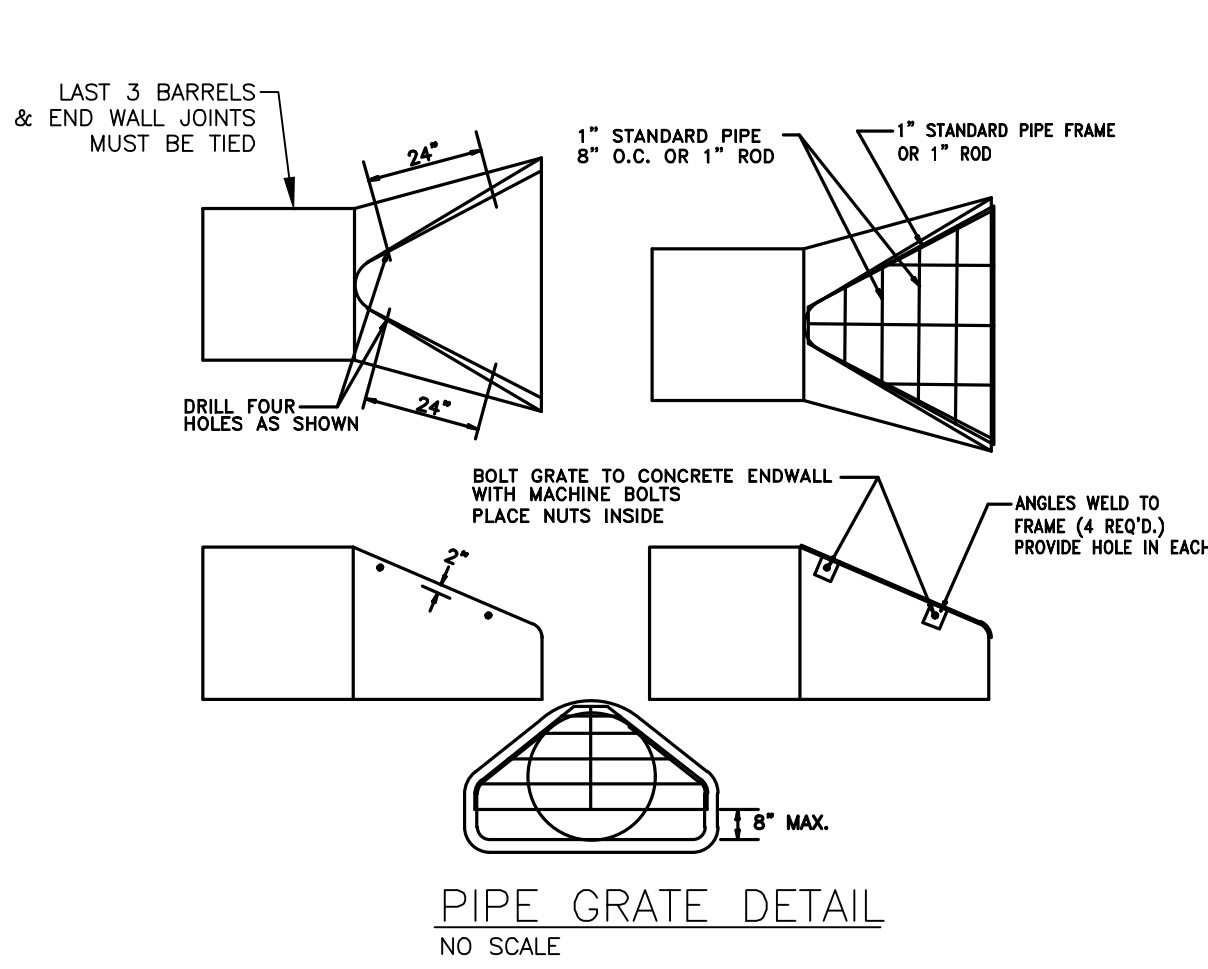
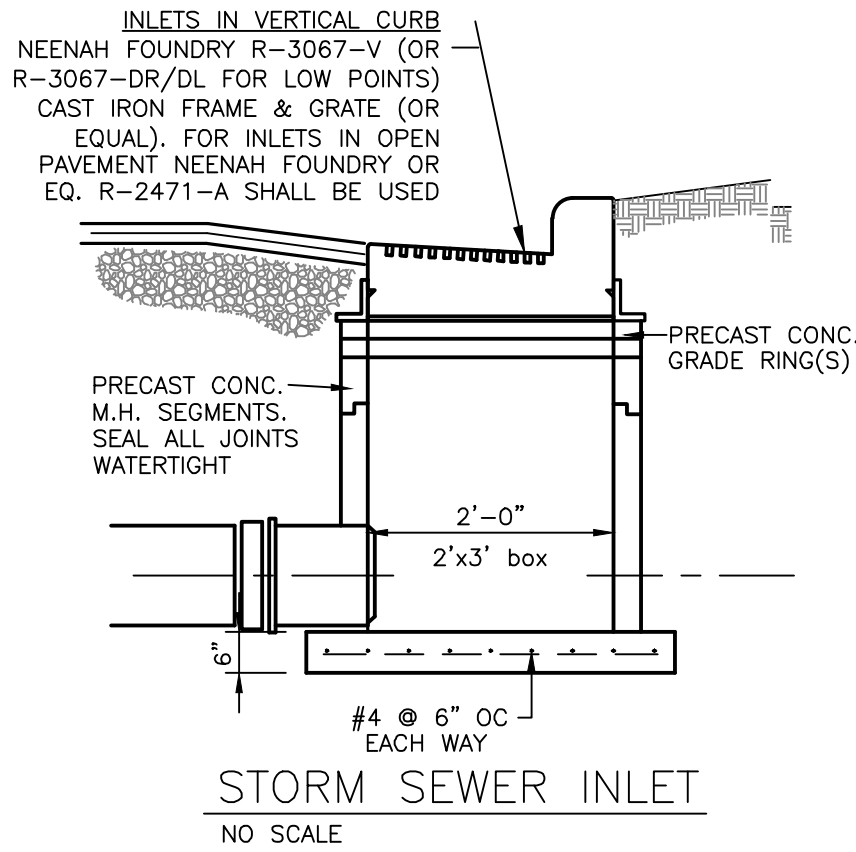
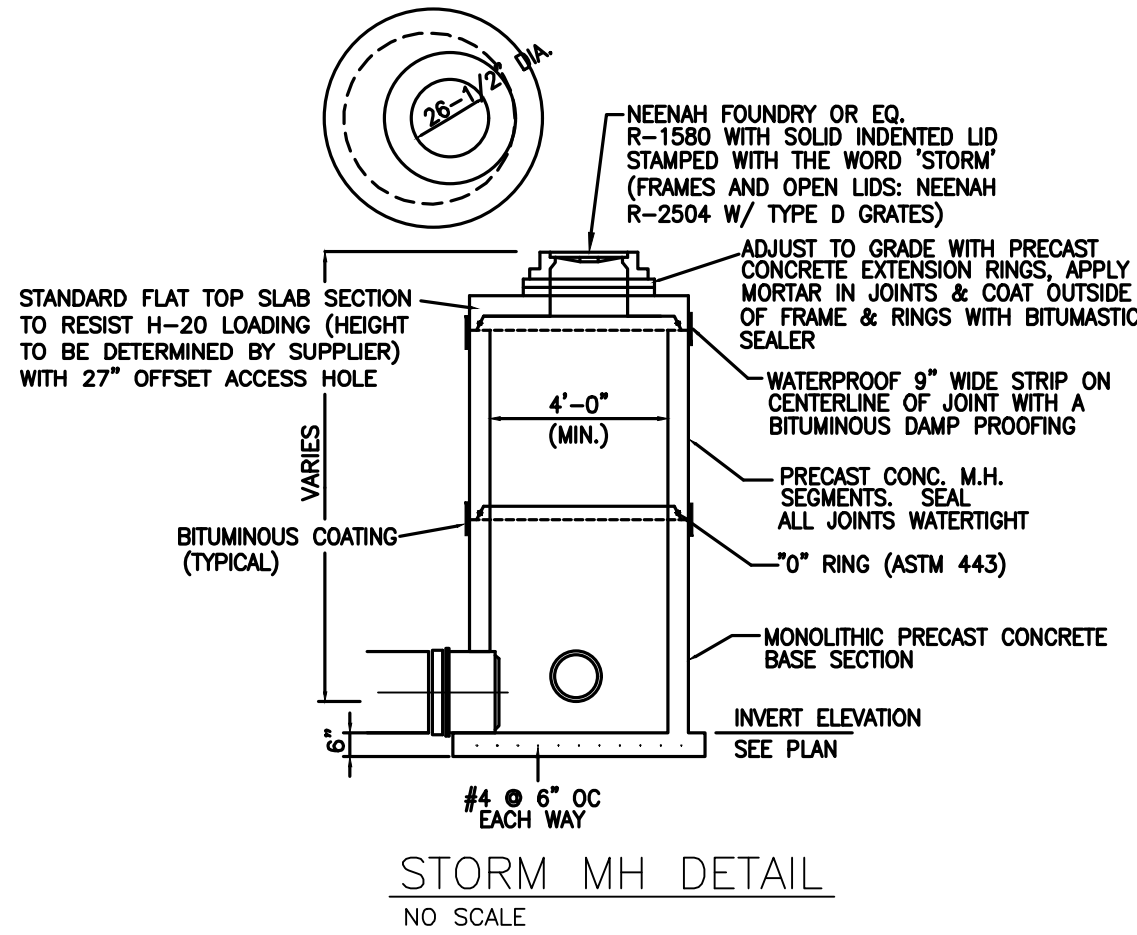
DESCRIPTION:

CONSTRUCTION
NOTES & DETAILS

SHEET

C5.0

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**CONSTRUCTION
NOTES & DETAILS**

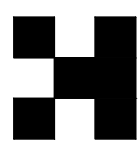
SHEET

C5.1

POPLAR GROVE PHASE II

DAYTON STREET

MAYVILLE, WISCONSIN 53050



Haydin
Thacker
Architecture

131 W SEEBOTH ST, SUITE 230
MILWAUKEE, WI 53204

HTARC.COM

BUILDING CODE ANALYSIS

APPLICABLE CODES

BUILDING CODE	SPS 361-366 STATE OF WISCONSIN COMMERCIAL BUILDING CODE, INTERNATIONAL BUILDING CODE 2015 (IBC).
EXISTING BUILDING CODE	INTERNATIONAL EXISTING BUILDING CODE 2015 (IEBC).
FIRE CODE	INTERNATIONAL FIRE CODE 2015.
ENERGY CODE	INTERNATIONAL ENERGY CONSERVATION CODE 2015.
PLUMBING CODE	INTERNATIONAL PLUMBING CODE 2015.
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE 2015.
ACCESSIBILITY	ICC/ANSI A117.1-2003 FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

GENERAL BUILDING DATA

CONSTRUCTION TYPES	TYPE VB
SPRINKLER SYSTEM	FULLY-SPRINKLERED AT 'S'-2' OCCUPANCY - NFPA 13. FULLY-SPRINKLERED AT 'R'-2' OCCUPANCY - NFPA 13 R.
BUILDING HEIGHT	APPROXIMATELY 30-FEET TO RIDGE LINE.
GROSS BUILDING AREAS	FIRST FLOOR 15,632 GROSS SQ FT. SECOND FLOOR 14,971 GROSS SQ FT. TOTAL AREA 30,603 GROSS SQ FT.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

OCCUPANCY CLASSIFICATIONS	LOW-HAZARD STORAGE, GROUP 'S'-2' (PARKING GARAGE) RESIDENTIAL, GROUP 'R'-2' (DWELLING UNITS)
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CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

TABLE 506.2- ALLOWABLE HEIGHTS AND AREAS WITH NFPA 13 R:

- GROUP R-2, TYPE VB CONSTRUCTION 3 STORIES, 7,000 SF PER STORY.
- PASSIVE AREA SEPARATION WALLS (FIRE WALLS) INDICATED TO SUB-DIVIDE FIRE AREAS INTO LESS THAN ALLOWABLE AREAS. REFER TO PLAN BELOW.

- SECTION 508.4 - SEPARATED OCCUPANCIES
- SEPARATION BETWEEN GROUP S-2 AND R-2 OCCUPANCIES - 1-HOUR PER TABLE 508.4.

- SECTION 509.4 - PARKING BENEATH GROUP 'R'
- PARKING BENEATH GROUP 'R' IS PERMITTED - ONE-STORY ABOVE GRADE PLANE, ENCLOSED PARKING GARAGE OF TYPE I CONSTRUCTION WITH GRADE ENTRANCE. OCCUPANCY SEPARATION IS 1-HOUR PER TABLE 508.4.

CHAPTER 6 - TYPES OF CONSTRUCTION

TABLE 601 - FIRE RESISTANCE RATING REQUIREMENT FOR BUILDING ELEMENTS

BUILDING ELEMENT	TYPE VB
• PRIMARY STRUCTURAL FRAME	0 HOUR
• BEARING WALLS - EXTERIOR	0 HOUR
• BEARING WALLS - INTERIOR	0 HOUR
• NON-BEARING WALLS - INTERIOR	0 HOUR
• FLOOR CONSTRUCTION	0 HOUR
• ROOF CONSTRUCTION	0 HOUR

- SECTION 602 - CONSTRUCTION CLASSIFICATION
- FIRST FLOOR GARAGE GROUP 'S'-2' TYPE VB CONSTRUCTION
 - ALL FLOORS RESIDENTIAL GROUP 'R'-2' TYPE VB CONSTRUCTION

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

- SECTION 705.5 - FIRE RESISTANCE RATINGS (EXTERIOR WALLS)
- EXTERIOR BEARING WALLS - TYPE IB CONSTRUCTION 0 HOUR RATED
 - EXTERIOR BEARING WALLS - TYPE VA CONSTRUCTION 0 HOUR RATED

- SECTION 705.8.1 - ALLOWABLE AREA OF OPENINGS
- CALCULATIONS BASED ON TABLE 508.8

- SECTION 707 - FIRE BARRIERS.
- DOUBLE STUD WALLS 1 HOUR (TEST GA-WP-3890).

- SECTION 706 - FIRE WALLS
- 706.2 (2) AREA SEPARATION WALLS (TABLE 706.4) 2 HOUR (TEST UL U336; STC 54).
- 706.5 HORIZONTAL CONTINUITY : EXCEPTION 3 APPLIES; NO OPENING PROTECTIVE REQUIRED.
- 706.5.2 HORIZONTAL PROJECTING ELEMENTS; NO ELEMENTS WITHIN FOUR- FEET. NO EXCEPTIONS APPLY.
- 706.6 VERTICAL CONTINUITY : CONDITIONS OF EXCEPTIONS 4.1, 4.2 & 4.3 ARE MET.

- SECTION 708.1 - FIRE PARTITIONS
- SEPARATING DWELLING UNITS 1 HOUR (TEST GA-WP-3910).

- SECTION 711.2.4.3 - FIRE-RESISTANCE RATING (HORIZONTAL ASSEMBLIES)
- SEPARATING DWELLING UNITS 1 HOUR.
 - FLOORS REQUIRED BY CONSTRUCTION TYPE 0 HOUR.

- SECTION 718.4.2 ATTIC DRAFT STOPPING IN R-2; EXCEPTION 3;
- 3,000 SF OR ABOVE EVERY TWO DWELLING UNITS WHICH EVER IS LESS.

CHAPTER 8 - INTERIOR FINISHES

- SEE TABLE 803.9:
- CLASS C FINISHES THROUGHOUT.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

SECTION 903.3.1 - STANDARDS (SPRINKLER SYSTEMS)

- GROUP 'S'-2' OCCUPANCY, TYPE VA CONSTRUCTION) IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH 903.3.1.1 (NFPA 13).
- GROUP 'R'-2' OCCUPANCY, TYPE VA CONSTRUCTION) IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH 903.3.1.2 (NFPA 13R).

SECTION 906.1 - PORTABLE FIRE EXTINGUISHERS

- EACH DWELLING UNIT (KITCHEN) PROVIDED WITH FIRE EXTINGUISHER MIN RATING OF 1-A: 10-B:C

CHAPTER 10 - MEANS OF EGRESS

SECTION 1004.1 - DESIGN OCCUPANT LOAD

PARKING GARAGE FUNCTIONS - GROUP 'S'-2' OCCUPANCY AREAS (200 GSF PER OCC): 1 OCCUPANT EACH GARAGE.

RESIDENTIAL & STORAGE FUNCTIONS - 200 GSF PER OCC	
FIRST FLOOR 14,120 SF / 200 GROSS =	80 OCCUPANTS
SECOND FLOOR 12,275 SF / 200 GROSS =	61 OCCUPANTS
TOTAL	141 OCCUPANTS

SECTION 1007.3 - STAIRWAYS

- PER EXCEPTION 1, AREA OF REFUGES ARE NOT REQUIRED SINCE THE BUILDING IS FULLY SPRINKLERED.
- PER EXCEPTION 2, THE 48-INCH CLEAR WIDTH IS NOT REQUIRED SINCE THE BUILDING IS FULLY SPRINKLERED. PER SECTION 1009.1 THE WIDTH OF STAIRWAYS IN THE BUILDING SHALL BE 44-INCHES MIN.

CHAPTER 11 - ACCESSIBILITY

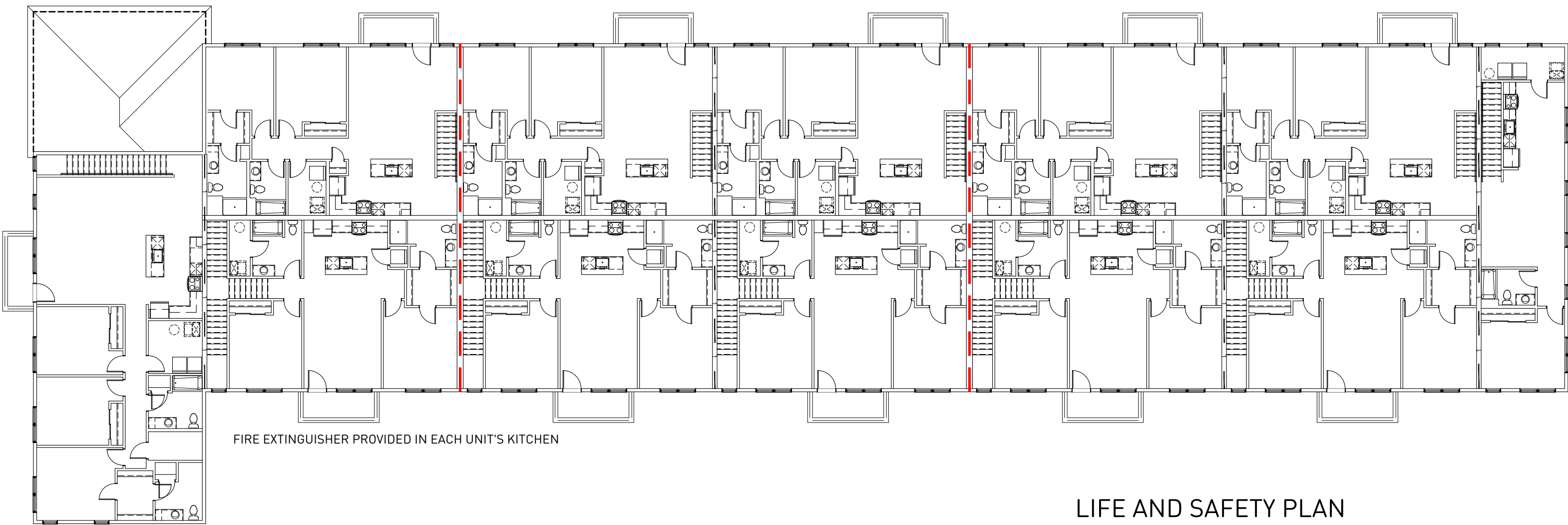
SECTION 1107.6.2 - GROUP R-2 APARTMENT HOUSES.

- AT LEAST 2 PERCENT OF 18 UNITS SHALL BE TYPE A ACCESSIBLE - ALL OTHER UNITS SHALL BE TYPE B. REFER TO UNIT PLANS FOR UNIT LAYOUTS.

CHAPTER 15 - ROOF ASSEMBLIES

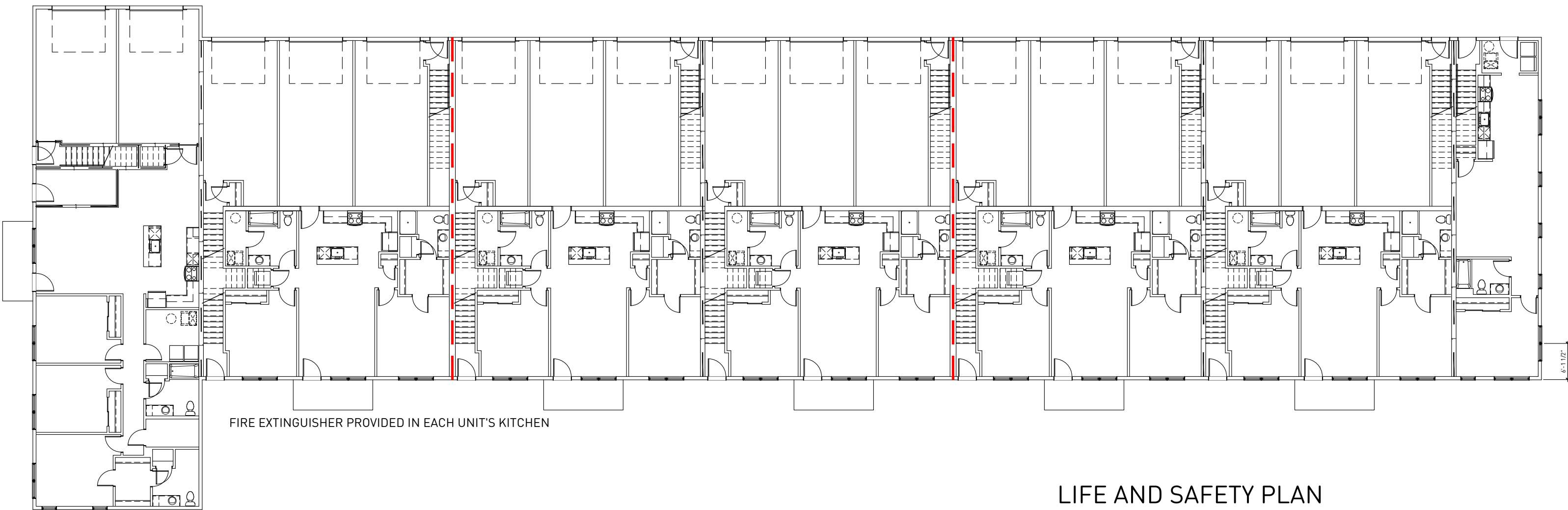
SECTION 1505.1 - MINIMUM ROOF COVERINGS CLASSIFICATION

ROOF COVERING SHALL BE CLASS "B" OR GREATER FOR EXCEPTION 4.2 TO APPLY.



02 LIFE AND SAFETY PLAN
SECOND FLOOR

SCALE = 1/16" = 1'-0"



01 LIFE AND SAFETY PLAN
FIRST FLOOR

SCALE = 1/16" = 1'-0"

PROJECT TEAM

ARCHITECT

HAYDIN THACKER ARCHITECTURE
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SUITE 230
MILWAUKEE, WISCONSIN
414-688-4368

CIVIL ENGINEERING

TRIO ENGINEERING (BY OWNER)
4100 NORTH CALHOUN RD
SUITE 300
BROOKFIELD, WI 53045
262-786-6600

STRUCTURAL ENGINEERING

BARBER ENGINEERING
325 WEST VINE ST
MILWAUKEE, WI 53212
414-263-9500

PLUMBING

DESIGN - BUILD ENGINEER TO BE PROVIDED BY OWNER

HVAC

DESIGN - BUILD ENGINEER TO BE PROVIDED BY OWNER

ELECTRICAL

DESIGN - BUILD ENGINEER TO BE PROVIDED BY OWNER

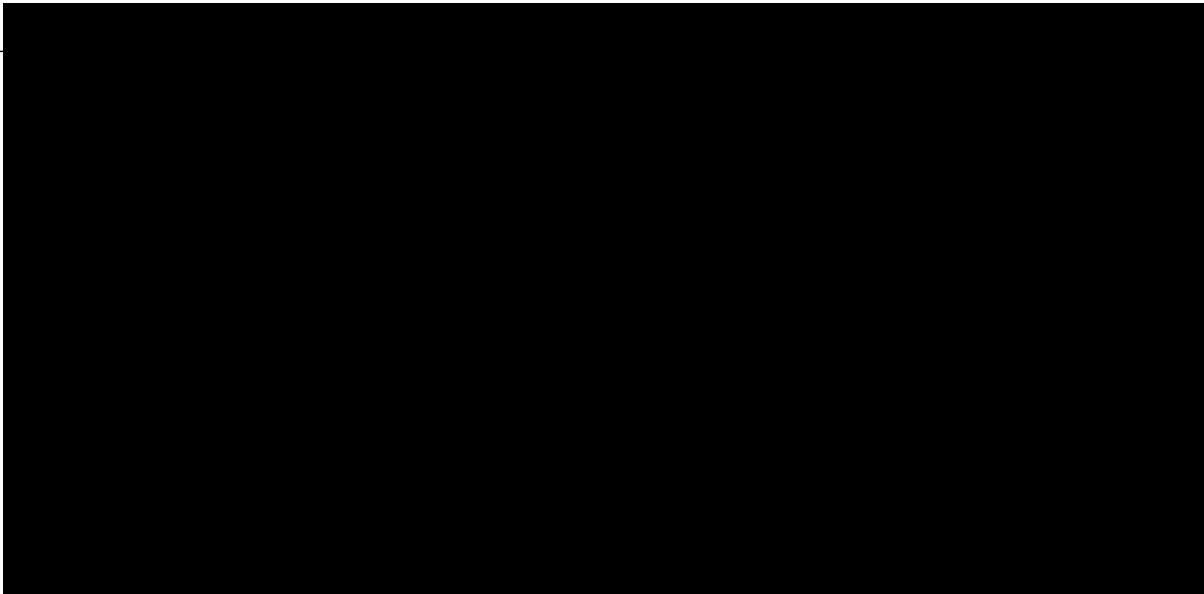
SHEET INDEX

A000 COVER SHEET

A201a	GROUND FLOOR PLAN - A / WALL & WINDOW TYPES
A201b	GROUND FLOOR PLAN - B / DOOR SCHEDULE
A202a	SECOND FLOOR PLAN - A
A202b	SECOND FLOOR PLAN - B / ROOF PLAN
A210	ONE BEDROOM UNIT PLANS
A212	TWO BEDROOM UNIT PLANS
A214	THREE BEDROOM UNIT PLANS
A400	ELEVATIONS - SOUTH AND WEST
A402	ELEVATIONS - NORTH AND EAST

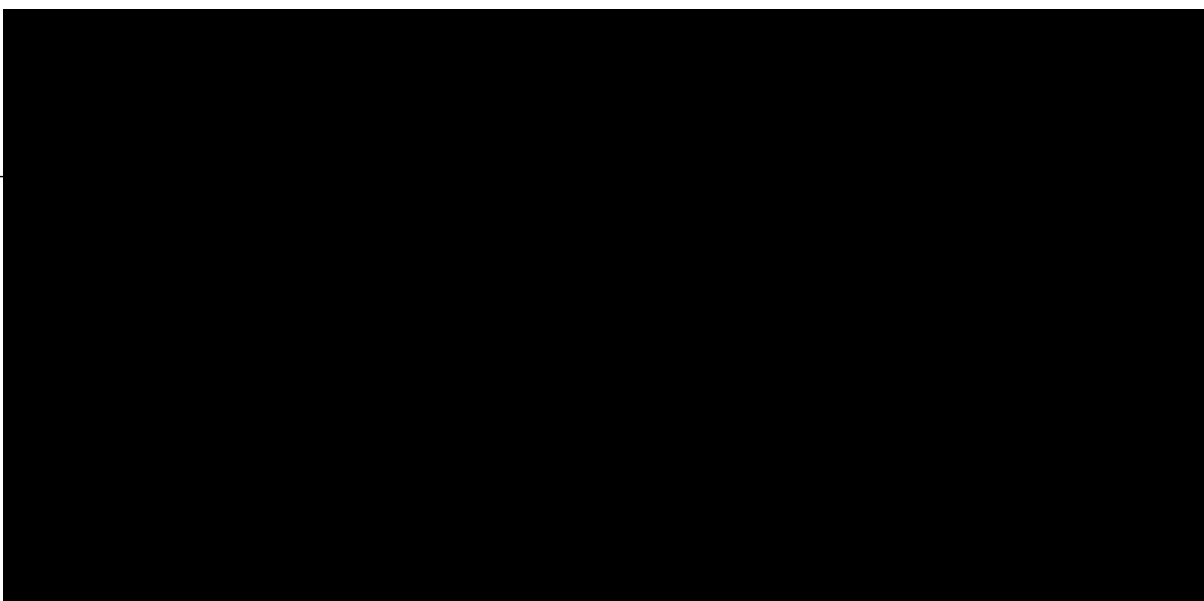
UNIT MIX	
2	ONE BEDROOM
15	TWO BEDROOM
2	THREE BEDROOM
17	SINGLE CAR GARAGES

PROJECT SITE -



SITE LOCATION

PROJECT SITE -
DAYTON AND MARY STREETS



VICINITY MAP

PROJECT NAME

POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME

DAYTON ONE, LLC

ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

DRAWING DATE

08.02.2024

SET TYPE

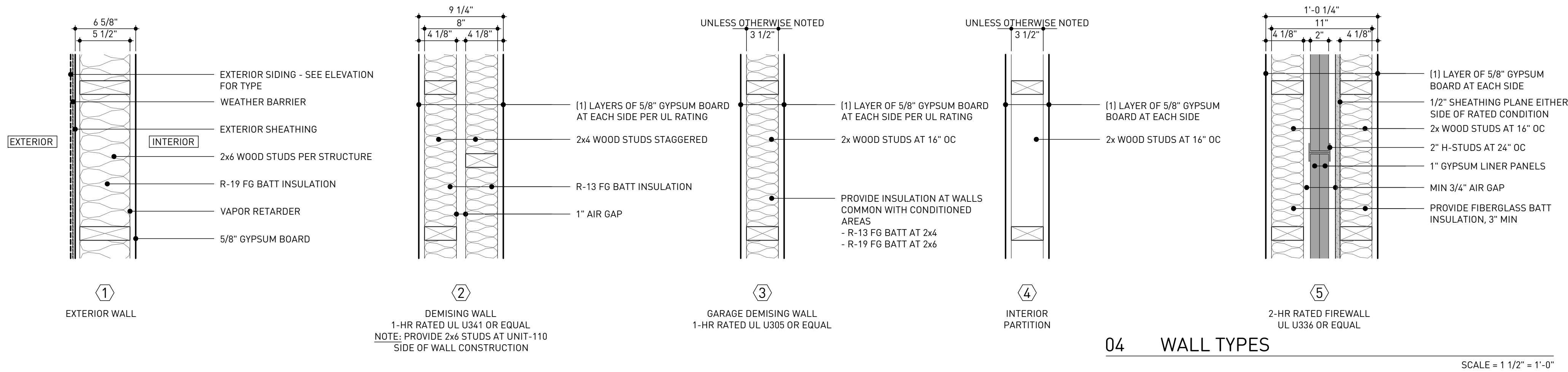
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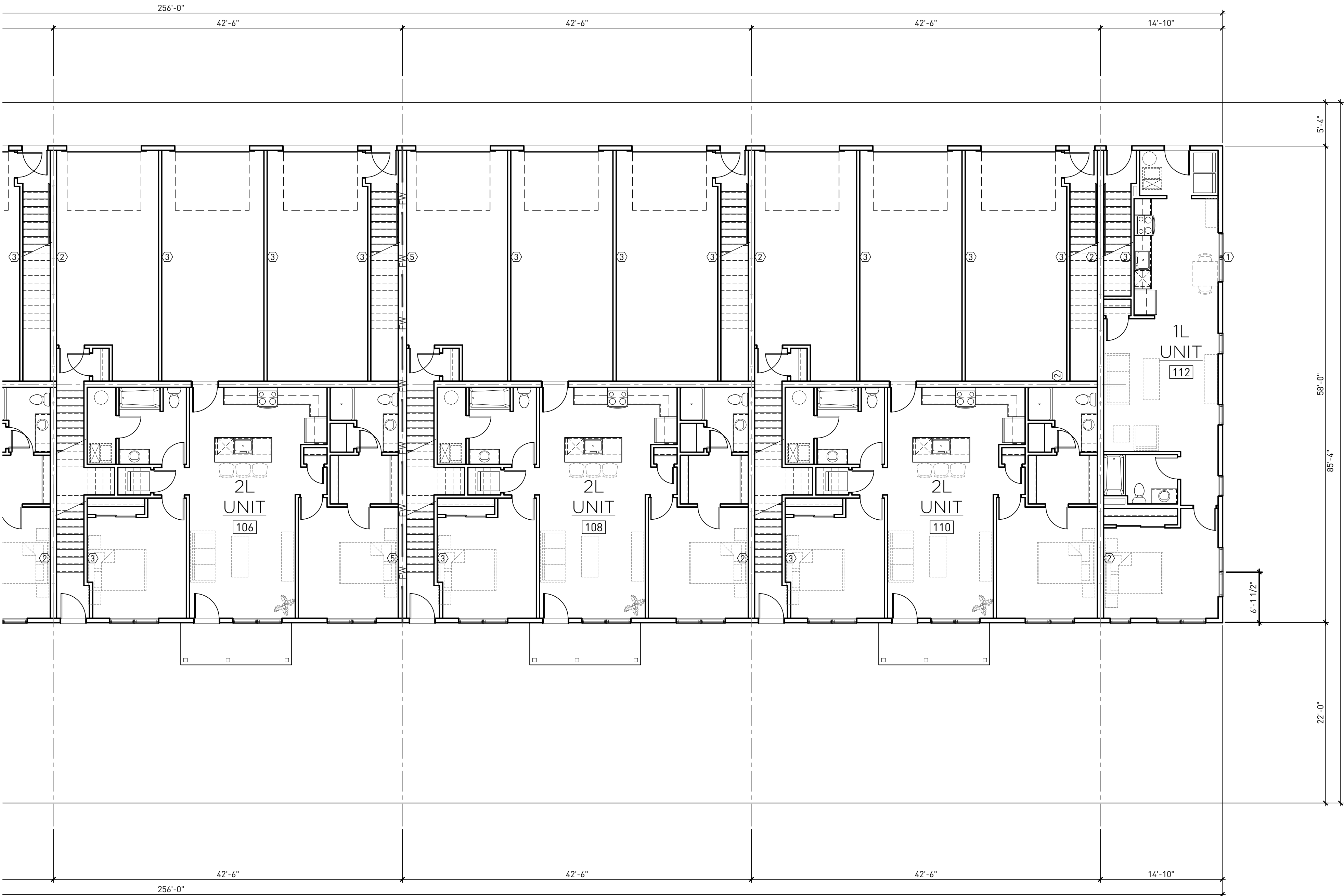
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COVER SHEET

SHEET NUMBER

A000

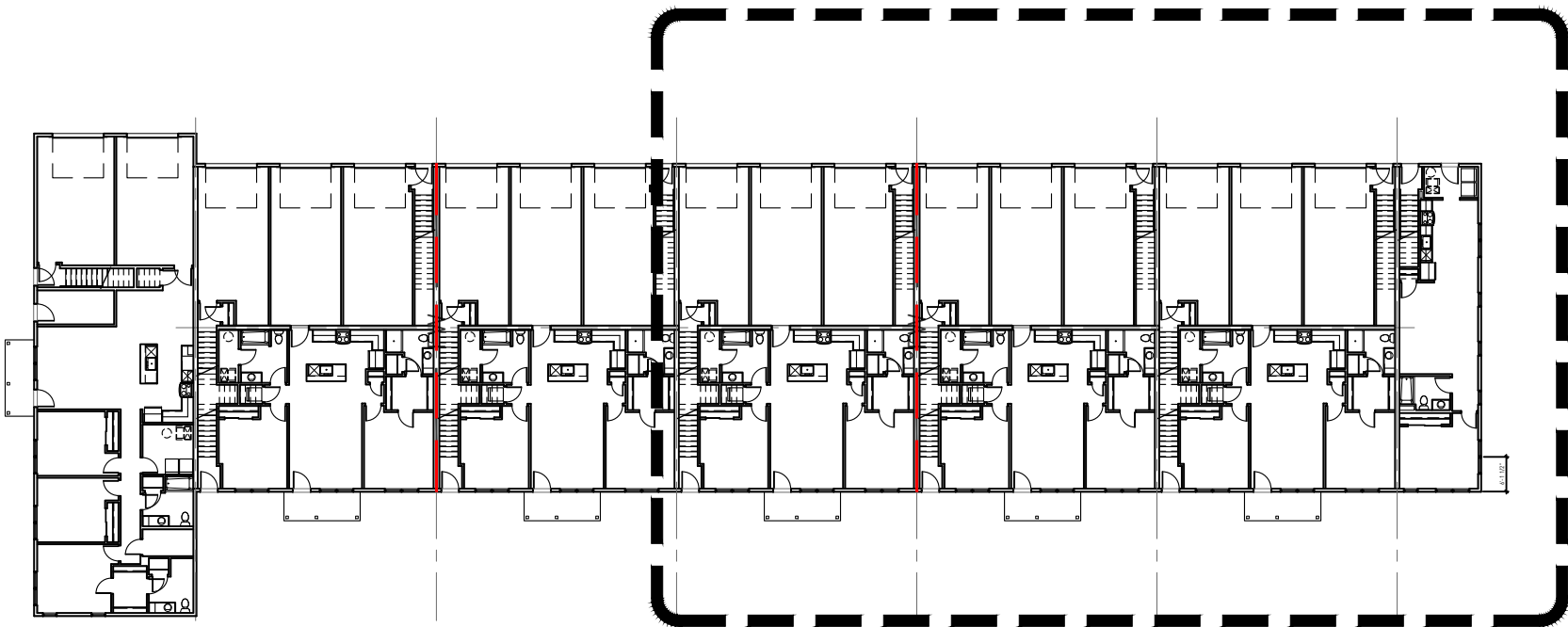




02

PARTIAL FLOOR PLAN - B
FIRST FLOOR

SCALE = 1/8" = 1'-0"



01

KEY PLAN

SCALE = 1/32" = 1'-0"

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC

ARCHITECT PROJECT NUMBER

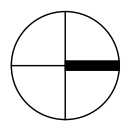
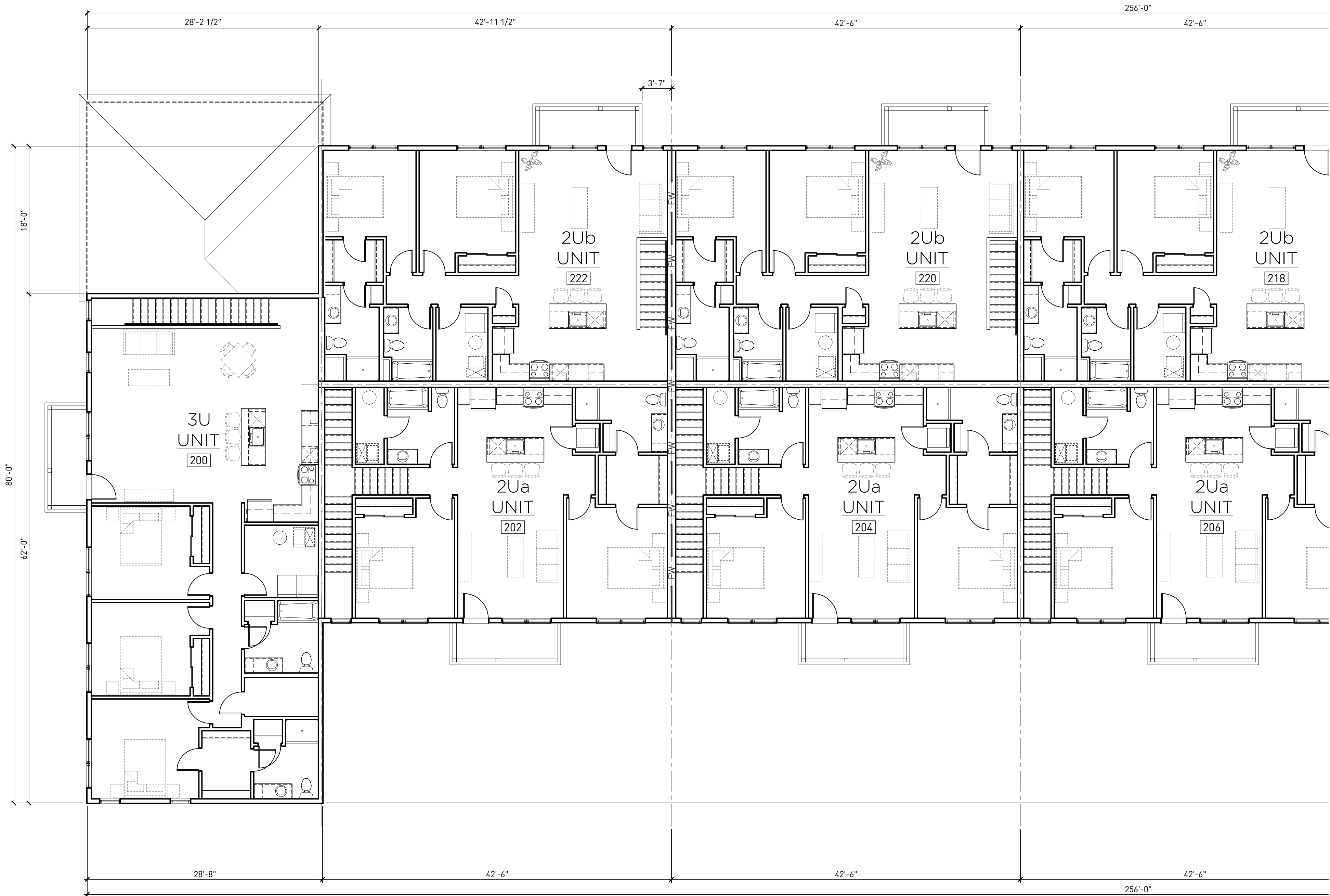
DRAWING REVISIONS

DRAWING DATE
08.02.2024

SET TYPE
REVIEW DOCUMENTS

SHEET NAME
PARTIAL FLOOR PLAN - B
FIRST FLOOR

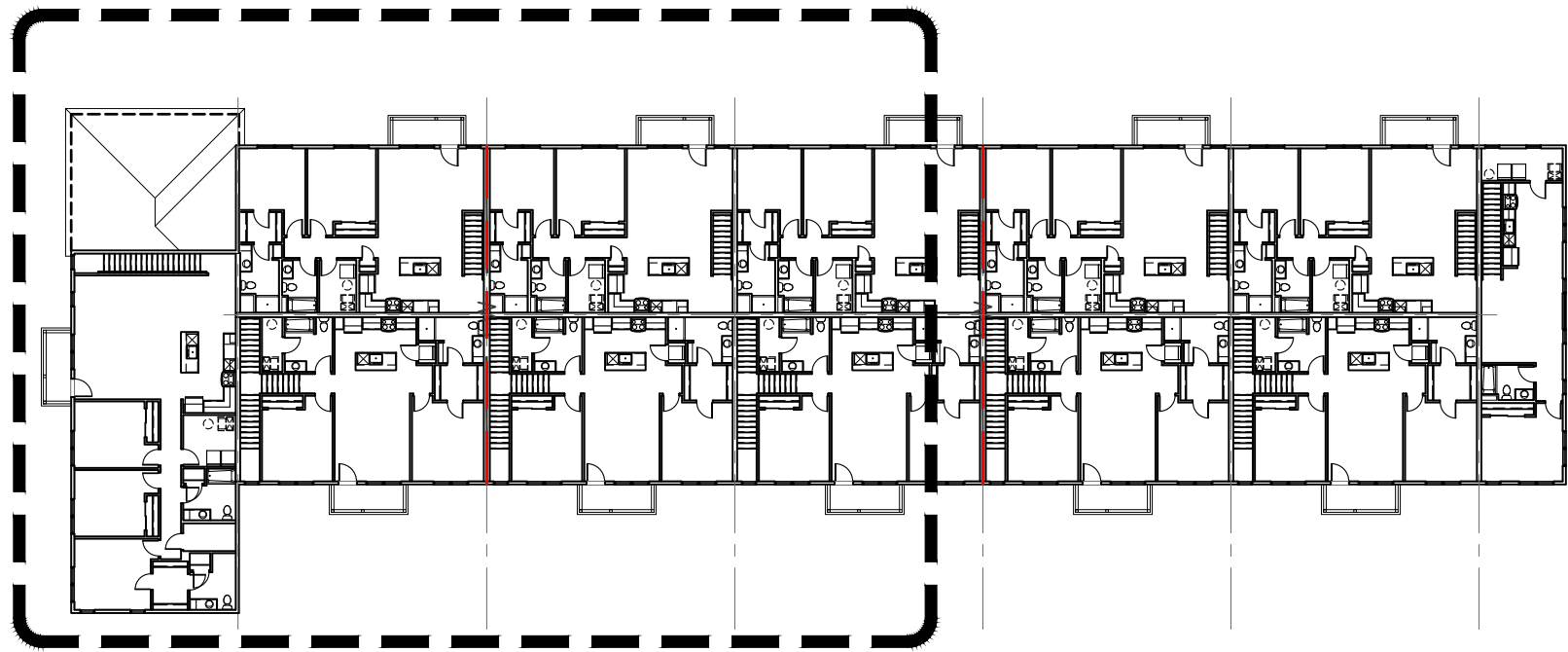
SHEET NUMBER
A201b



02

PARTIAL FLOOR PLAN - A
SECOND FLOOR

SCALE = 1/8" = 1'-0"



01

KEY PLAN

SCALE = 1/32" = 1'-0"

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC

ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

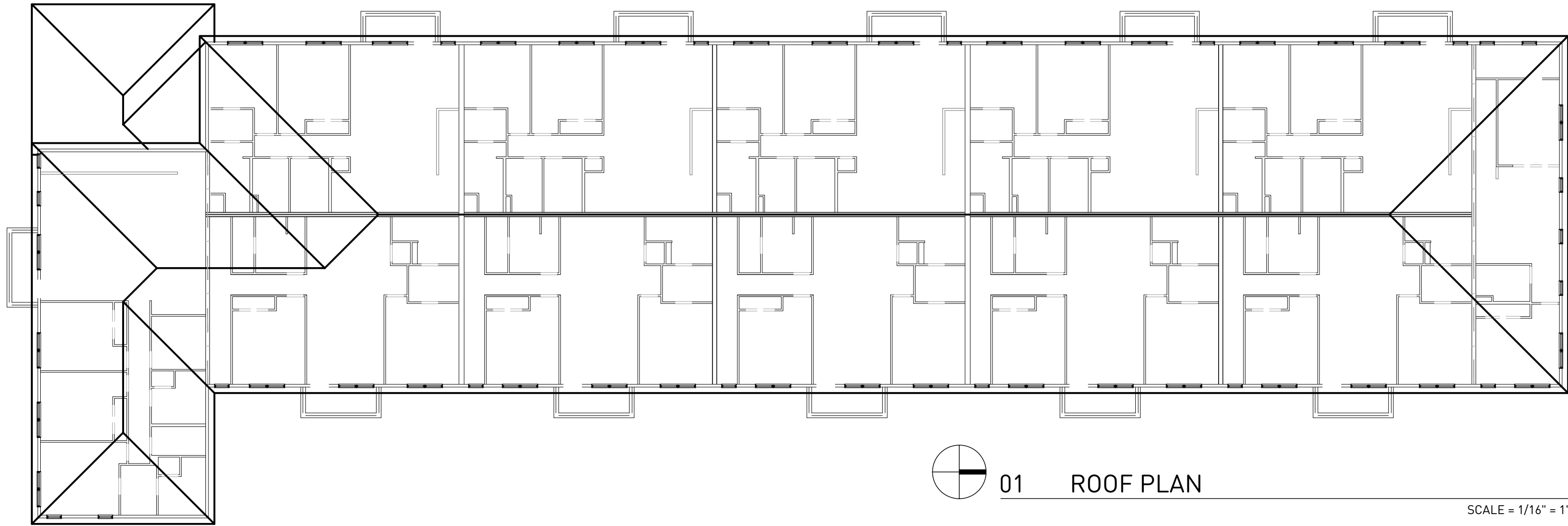
DRAWING DATE
08.02.2024

SET TYPE
REVIEW DOCUMENTS

SHEET NAME
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SECOND FLOOR

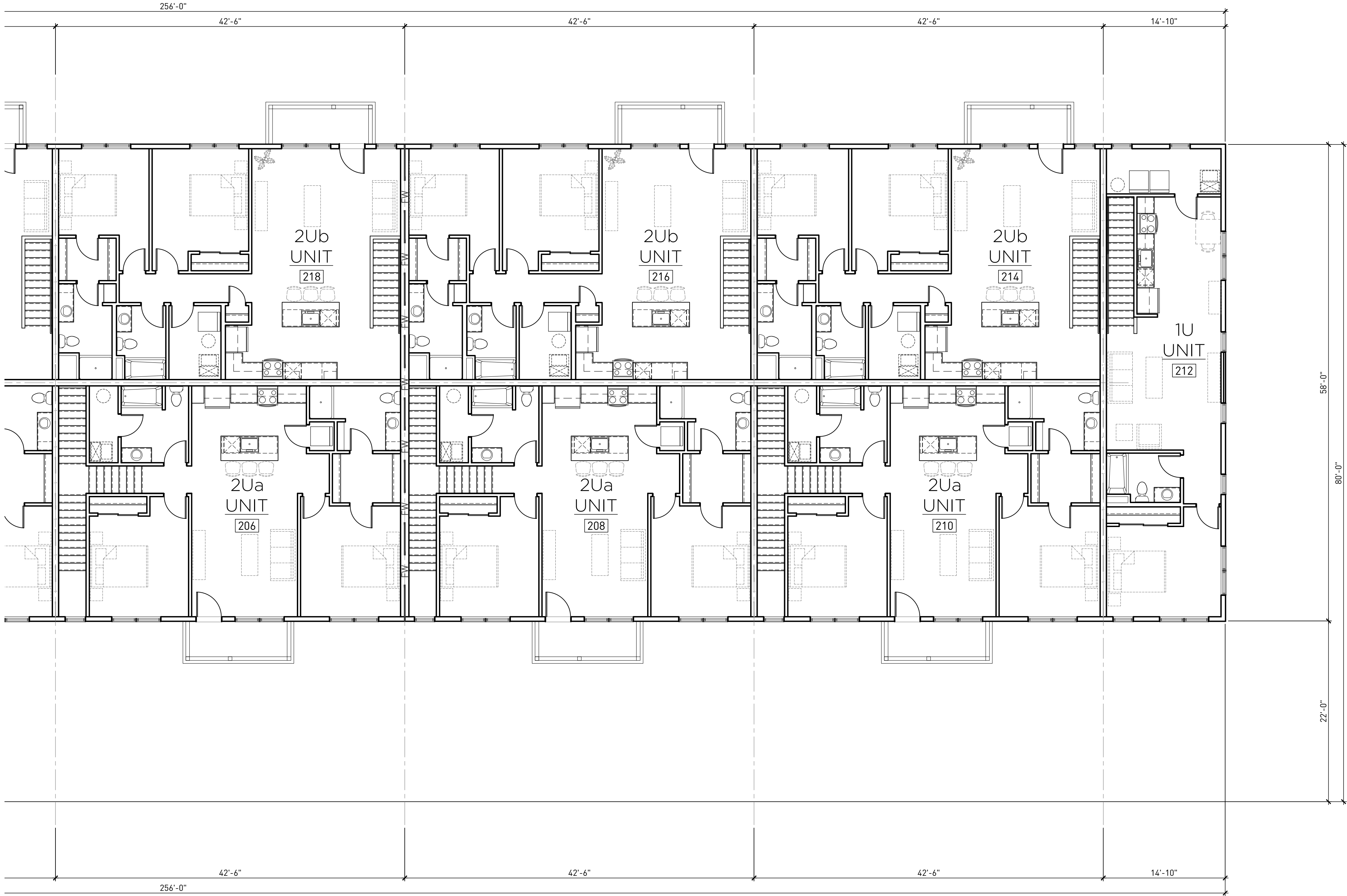
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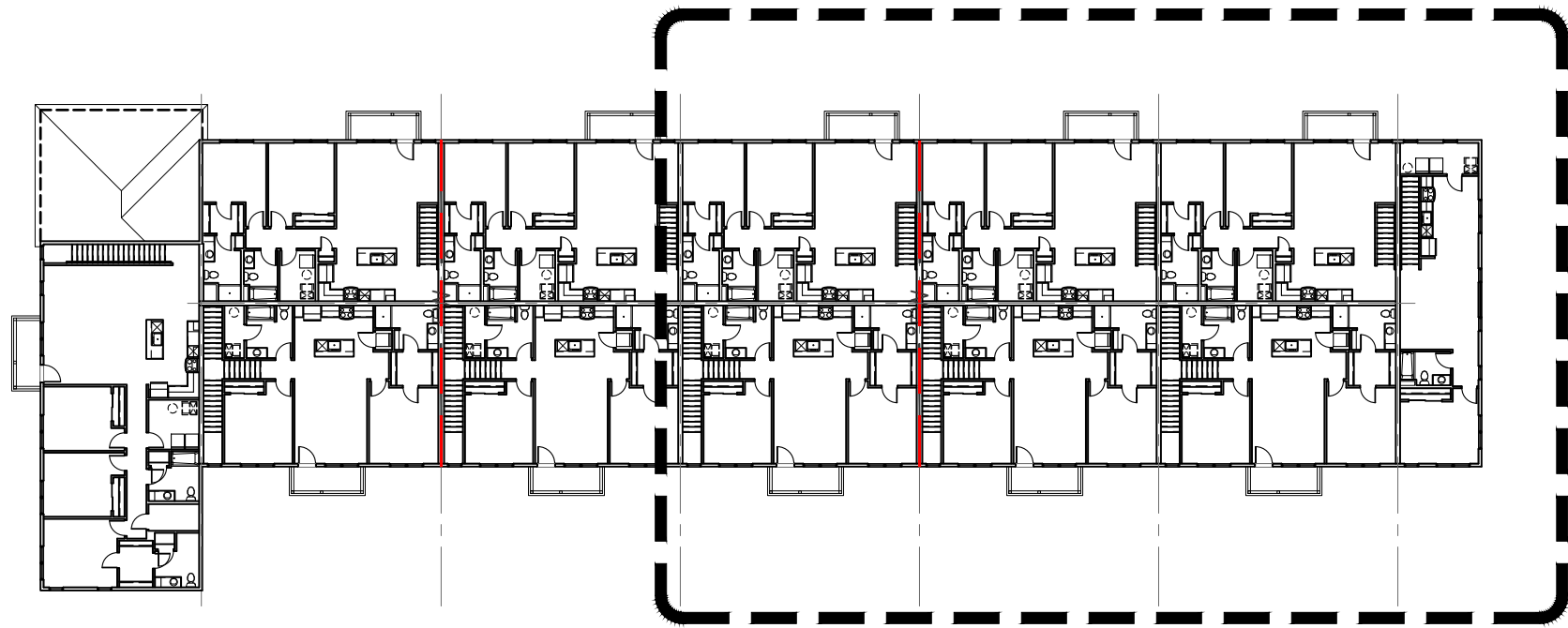
01 ROOF PLAN

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02 PARTIAL FLOOR PLAN - B
SECOND FLOOR

SCALE = 1/8" = 1'-0"



01 KEY PLAN

SCALE = 1/32" = 1'-0"

PROJECT TEAM

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC

ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

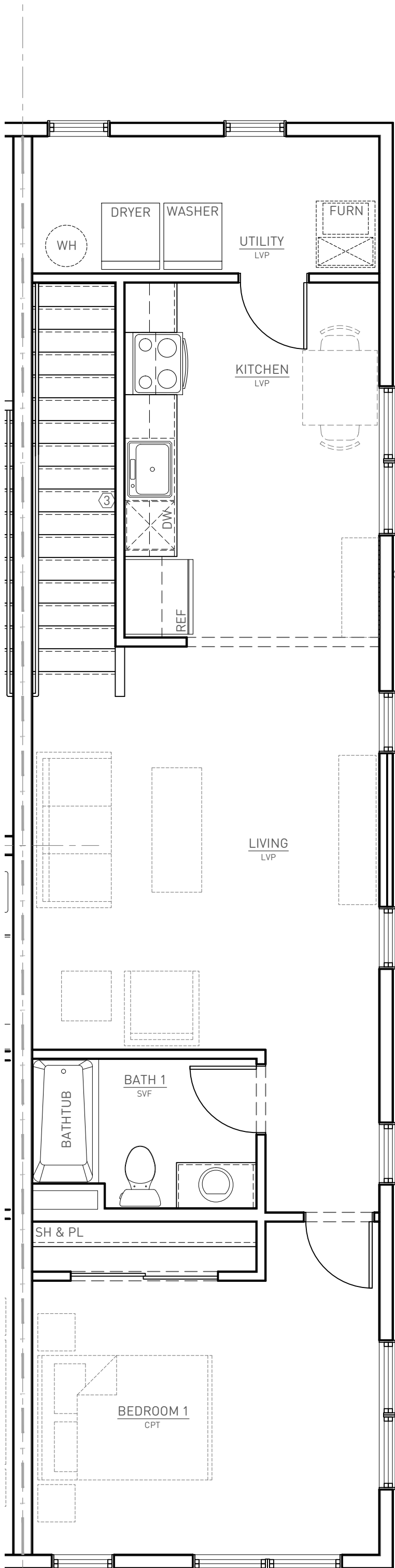
DRAWING DATE
08.02.2024

SET TYPE
REVIEW DOCUMENTS

SHEET NAME
ONE BEDROOM
UNIT PLANS

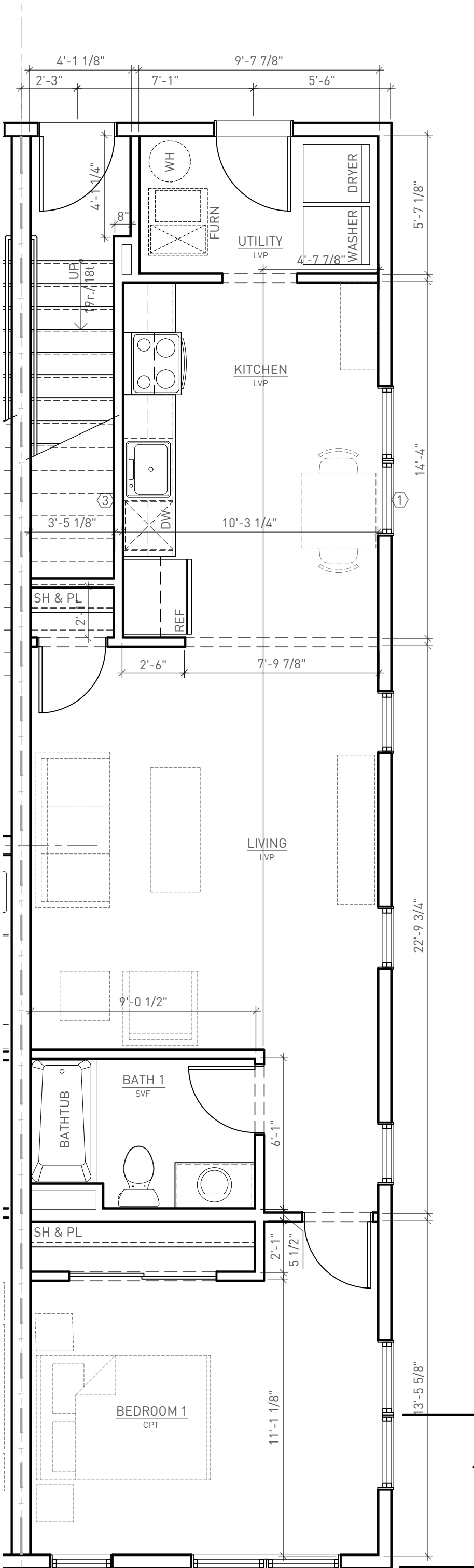
SHEET NUMBER

A210



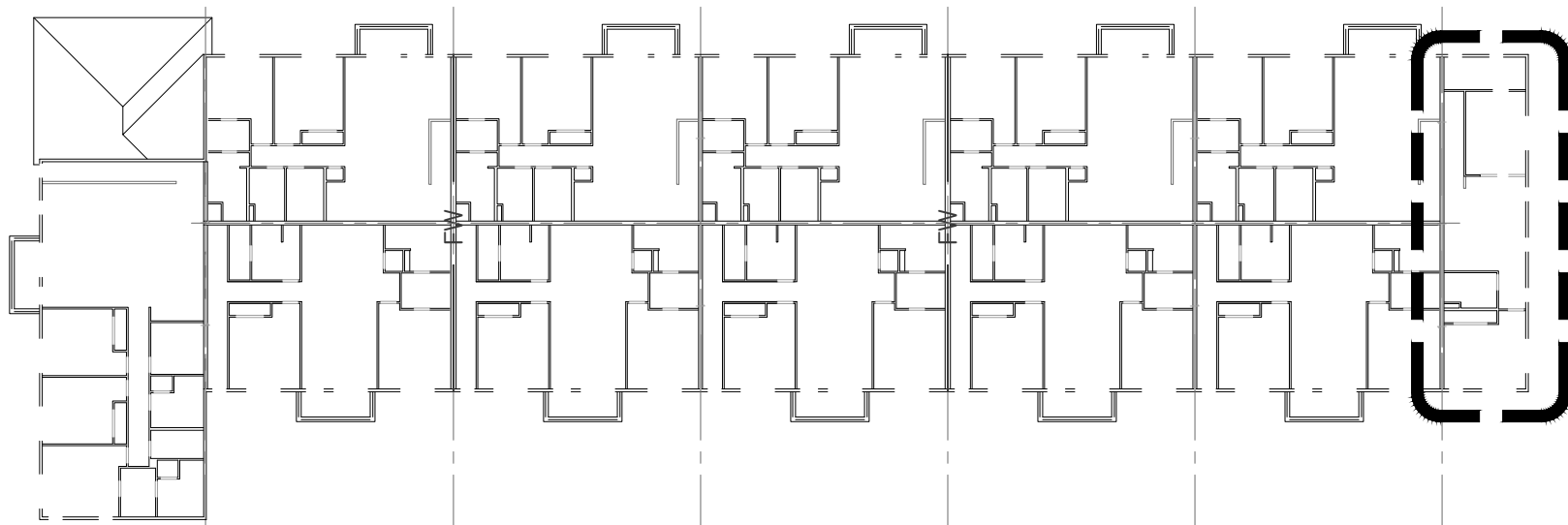
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ONE BEDROOM UPPER

SCALE = 1/4" = 1'-0"

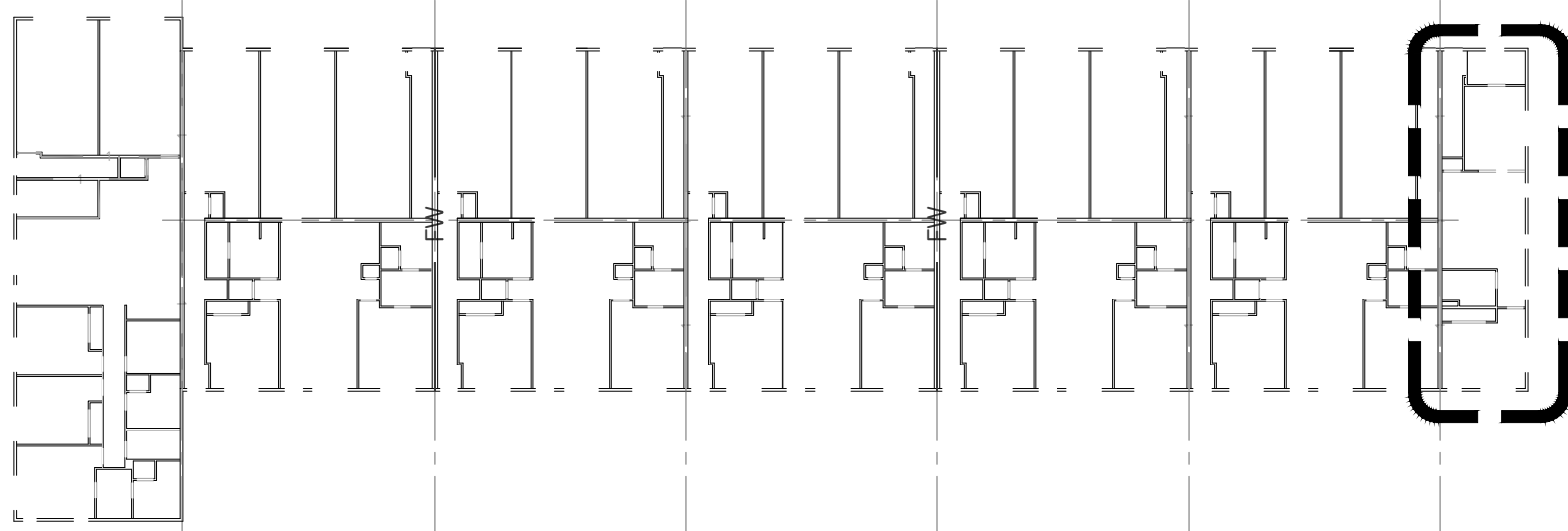


02 UNIT PLAN - 1L
ONE BEDROOM LOWER

SCALE = 1/4" = 1'-0"



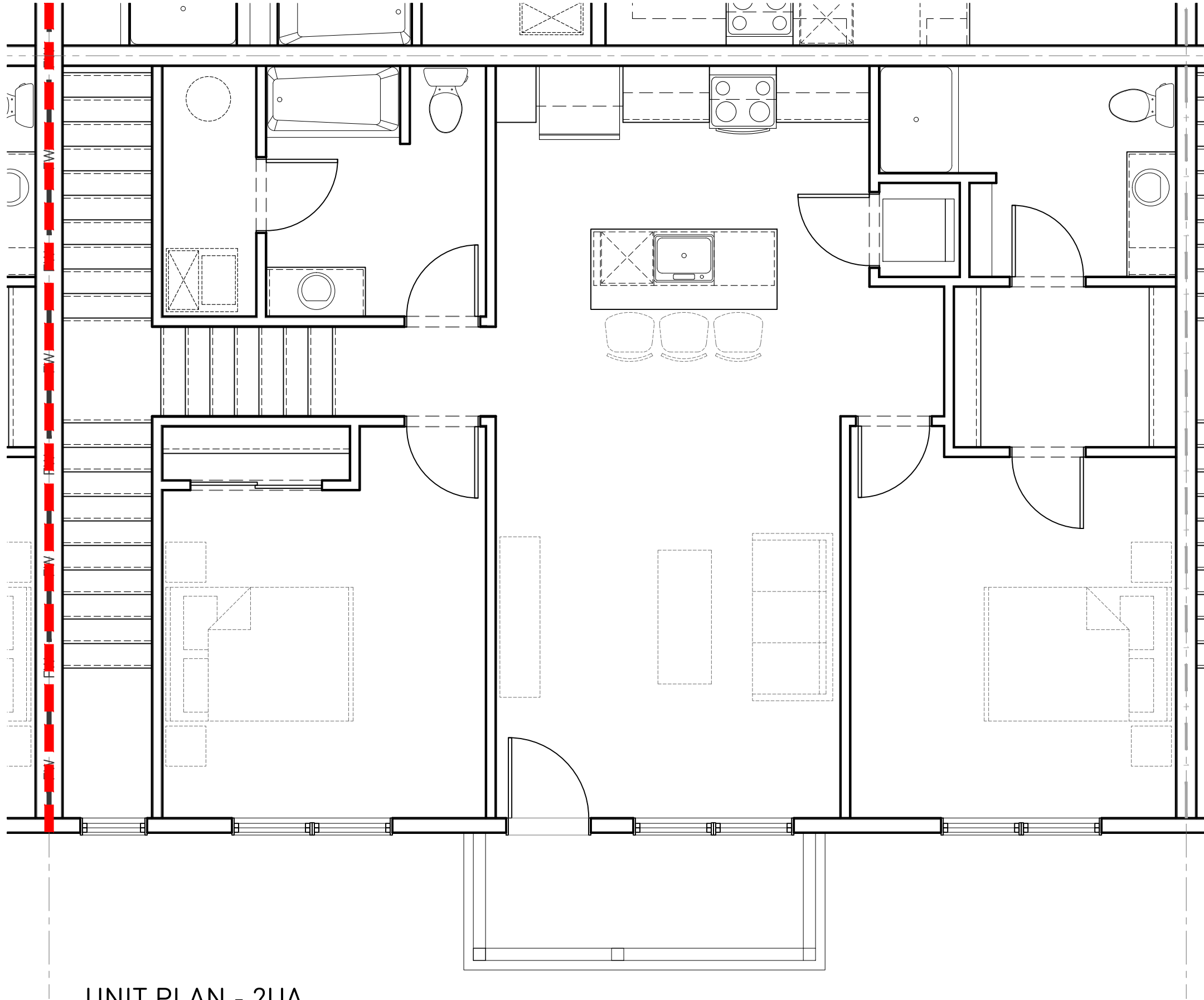
SECOND FLOOR



FIRST FLOOR

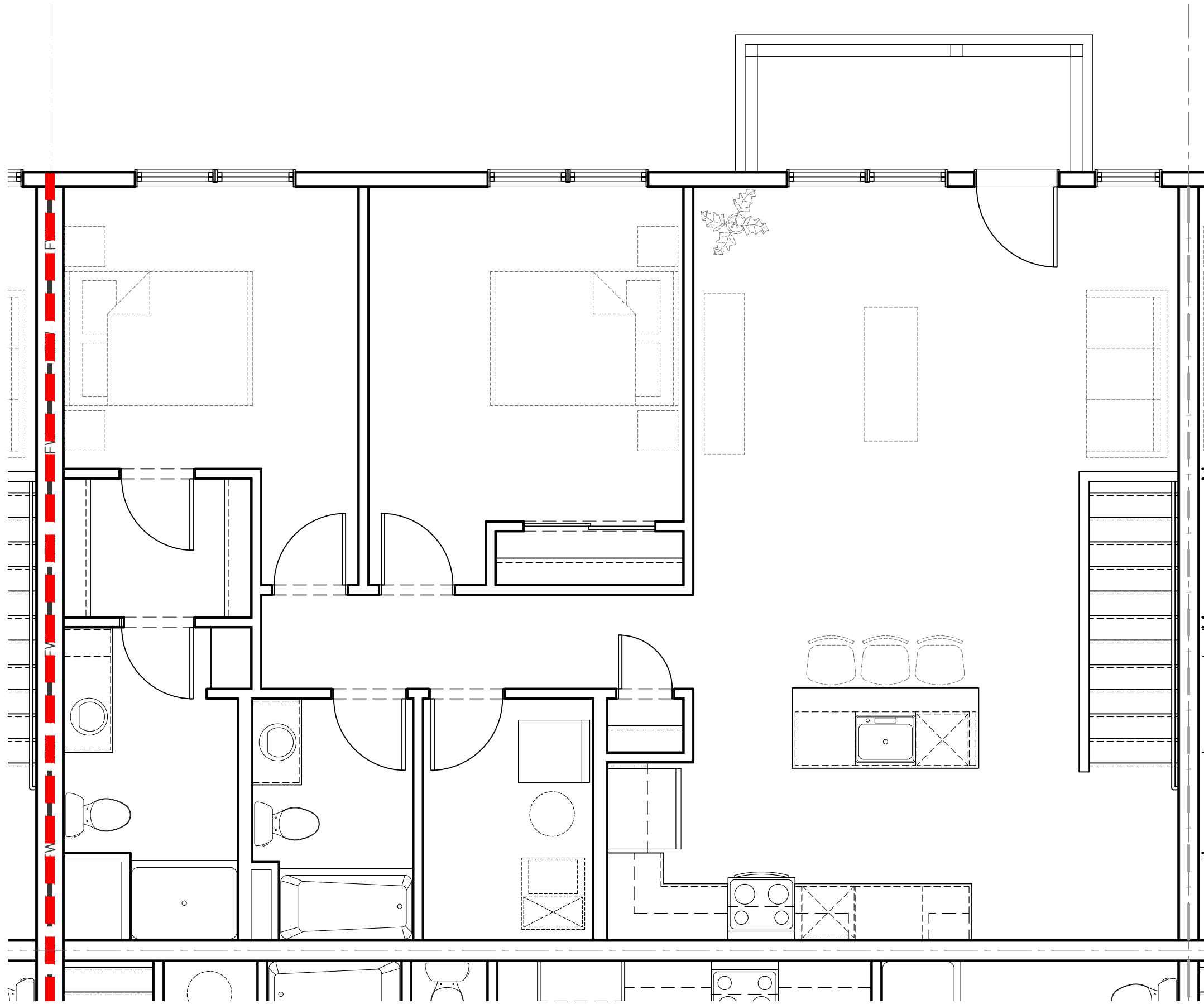
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SCALE = 1/32" = 1'-0"



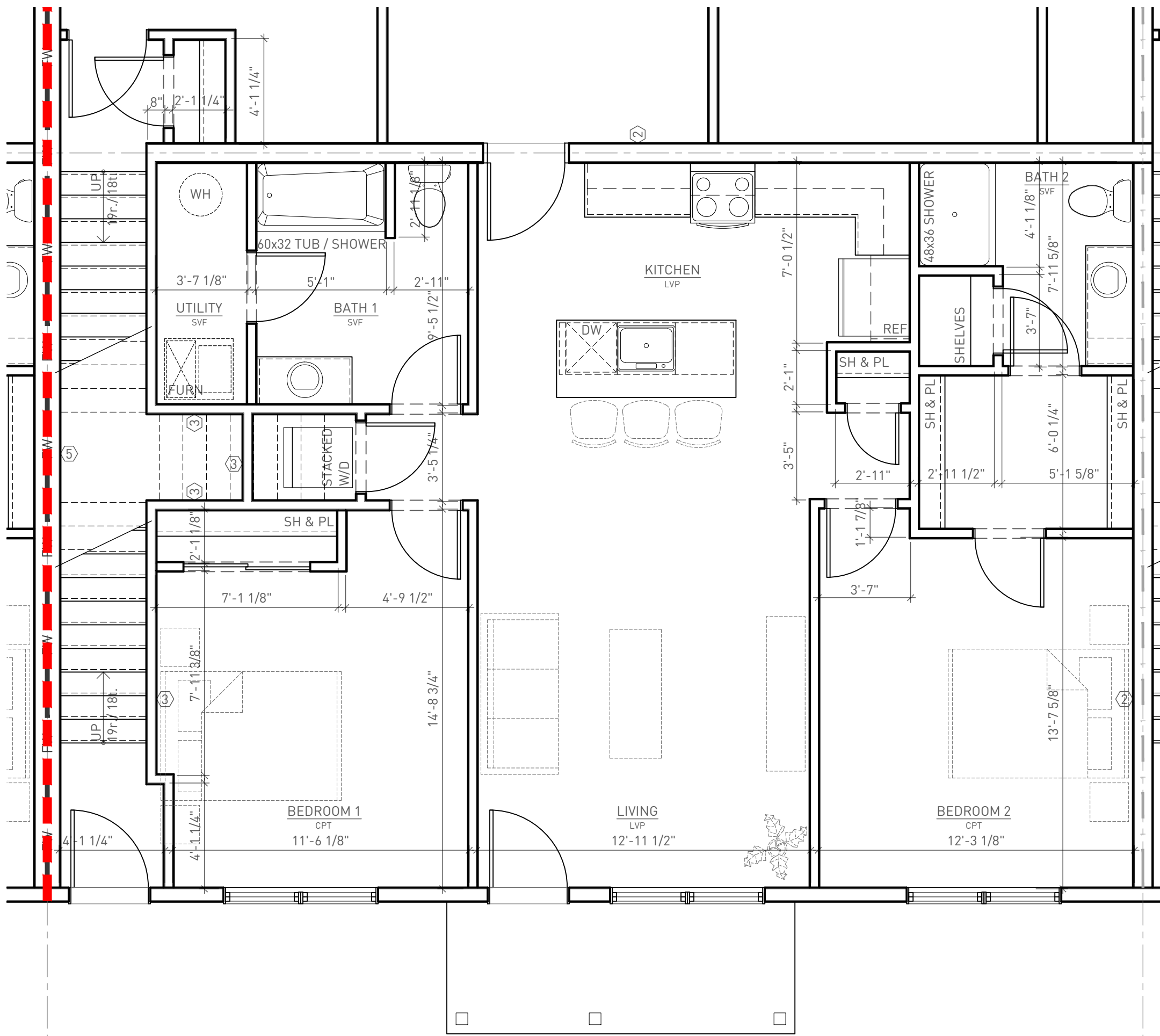
04 UNIT PLAN - 2UA
TWO BEDROOM UPPER

SCALE = 1/4" = 1'-0"



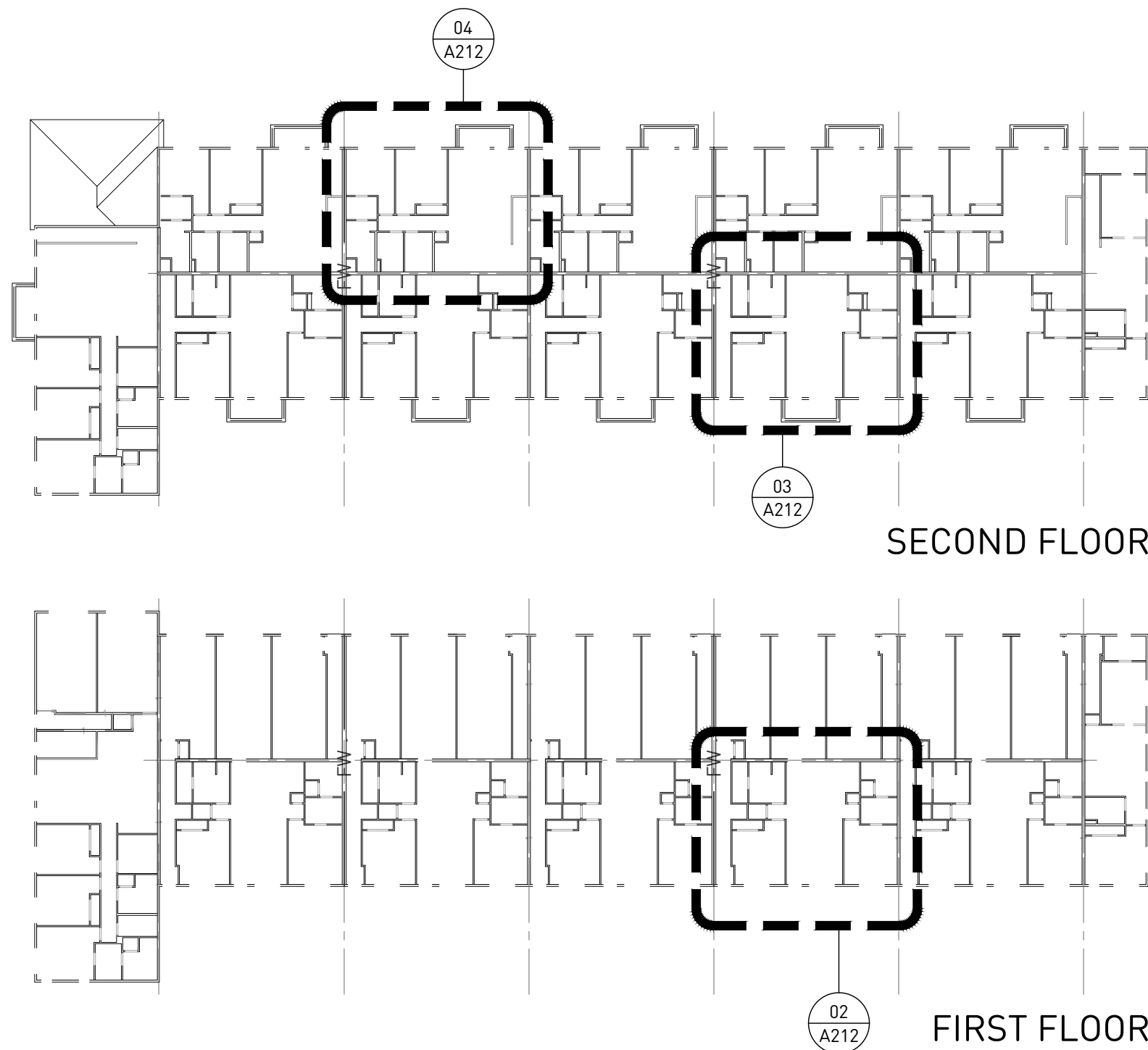
03 UNIT PLAN - 2UB
TWO BEDROOM UPPER

SCALE = 1/4" = 1'-0"



02 UNIT PLAN - 2L
TWO BEDROOM LOWER

SCALE = 1/4" = 1'-0"



01 KEY PLAN

SCALE = 1/32" = 1'-0"

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC
ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

DRAWING DATE
08.02.2024
SET TYPE
REVIEW DOCUMENTS
SHEET NAME
SECOND FLOOR
UNIT PLANS
SHEET NUMBER

A212

PROJECT TEAM

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC
ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

DRAWING DATE
08.02.2024
SET TYPE
REVIEW DOCUMENTS
SHEET NAME
THREE BEDROOM
UNIT PLANS
SHEET NUMBER

A214



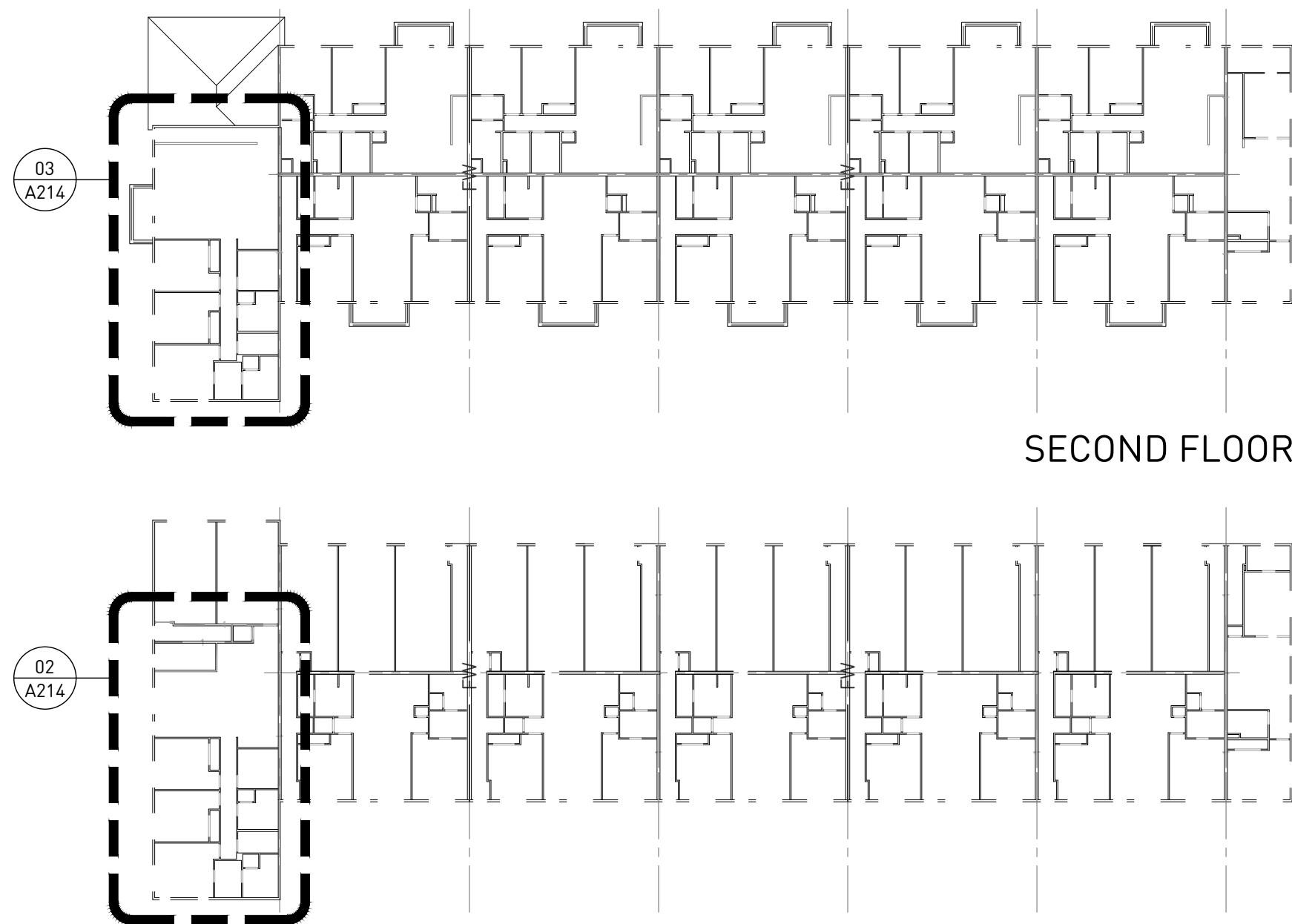
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THREE BEDROOM UPPER

SCALE = 1/4" = 1'-0"



02 UNIT PLAN - 3L
THREE BEDROOM LOWER

SCALE = 1/4" = 1'-0"

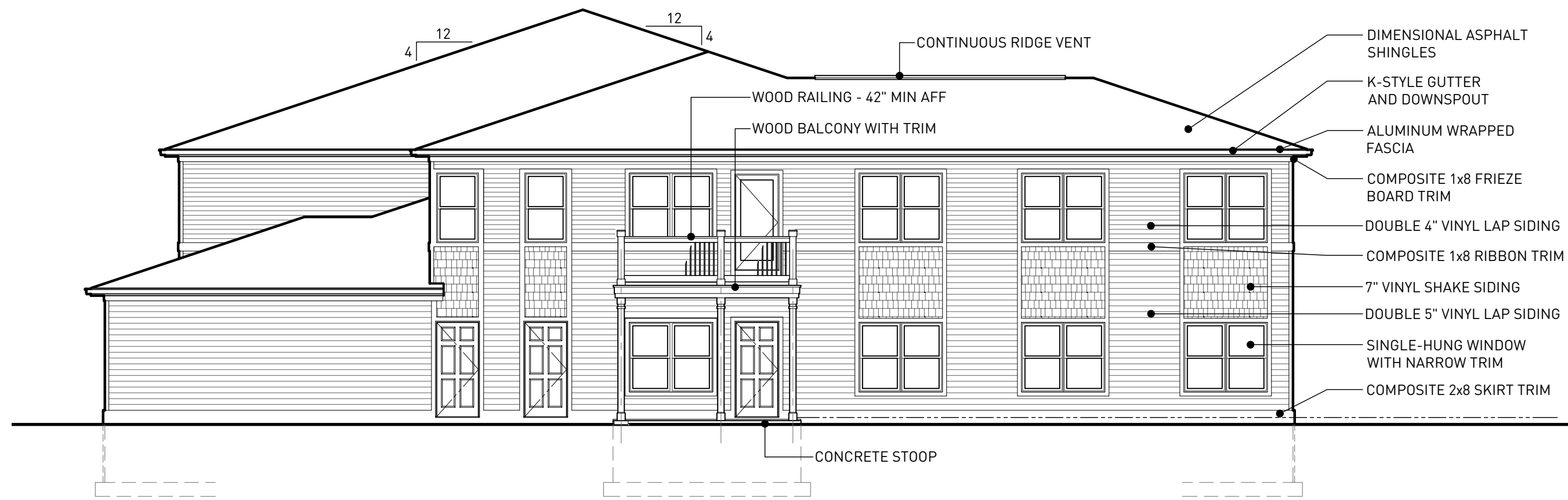


01 KEY PLAN

SCALE = 1/32" = 1'-0"

SECOND FLOOR

FIRST FLOOR



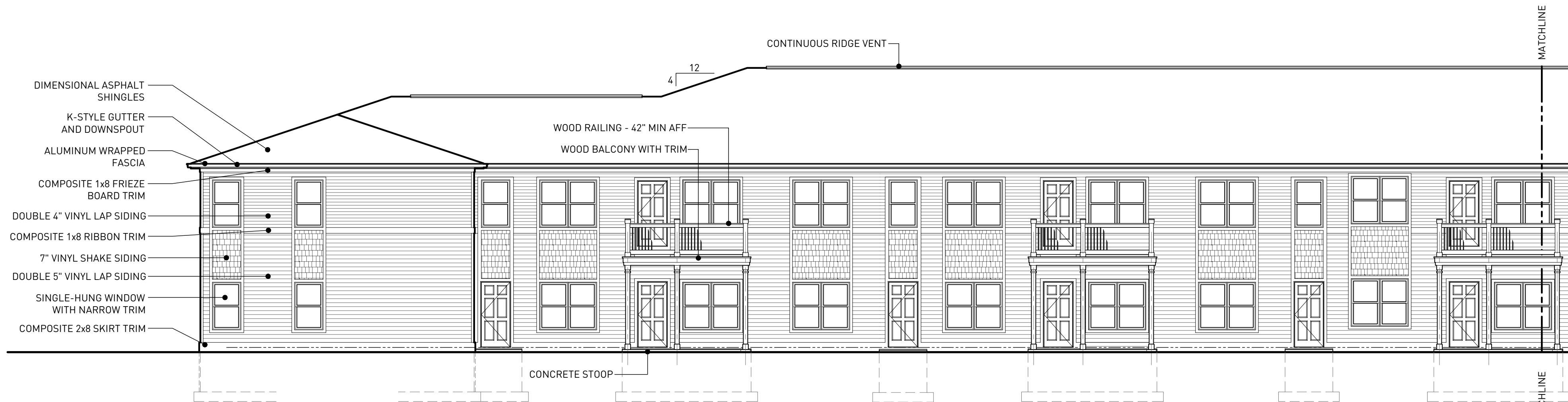
04 ELEVATION
SOUTH SIDE

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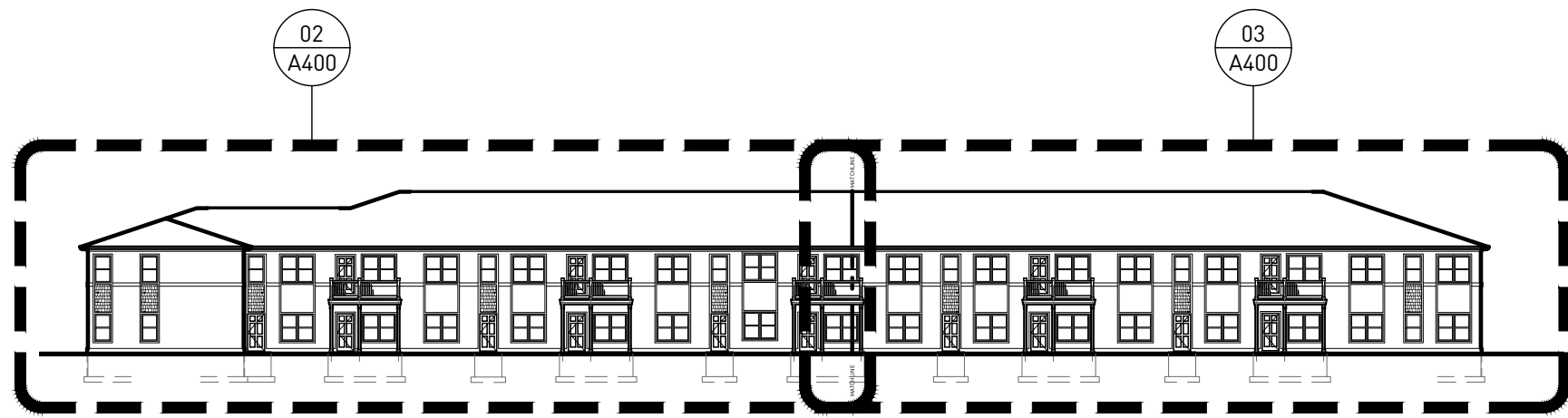
03 PARTIAL ELEVATION - B
EAST SIDE

SCALE = 1/8" = 1'-0"



02 PARTIAL ELEVATION - A
EAST SIDE

SCALE = 1/8" = 1'-0"



01 ELEVATION KEY
EAST ELEVATION

SCALE = 1/32" = 1'-0"

PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

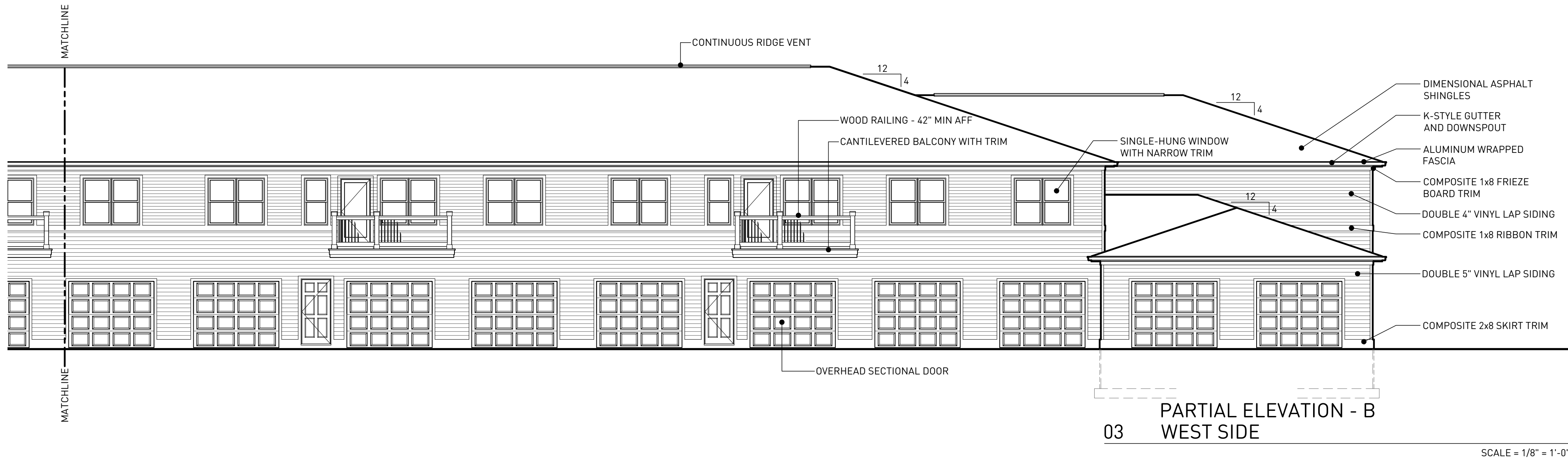
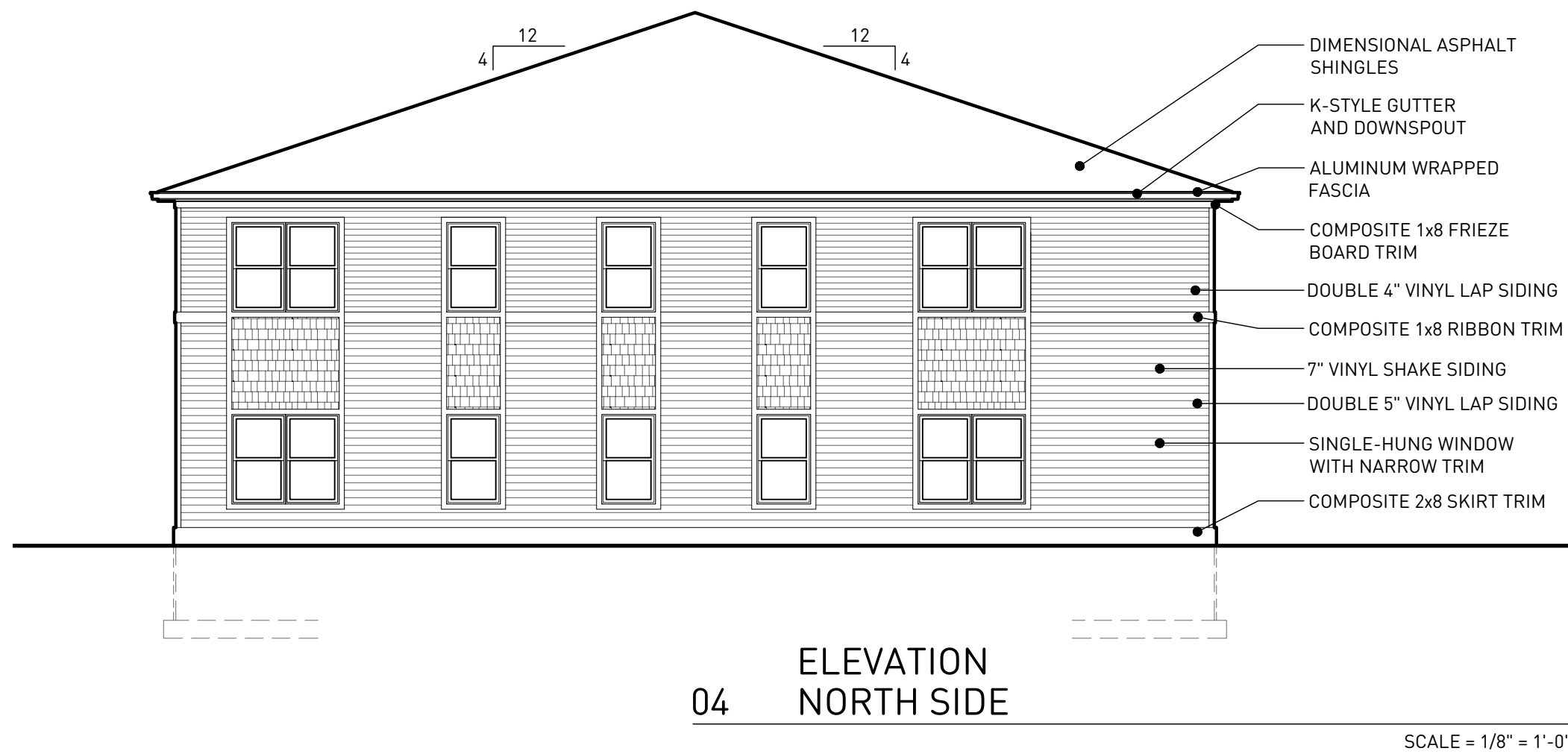
CLIENT NAME
DAYTON ONE, LLC
ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

DRAWING DATE
08.02.2024
SET TYPE
REVIEW DOCUMENTS
SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER

A400



PROJECT NAME
POPLAR GROVE PHASE II

1176 DAYTON STREET
MAYVILLE, WISCONSIN

CLIENT NAME
DAYTON ONE, LLC

ARCHITECT PROJECT NUMBER

DRAWING REVISIONS

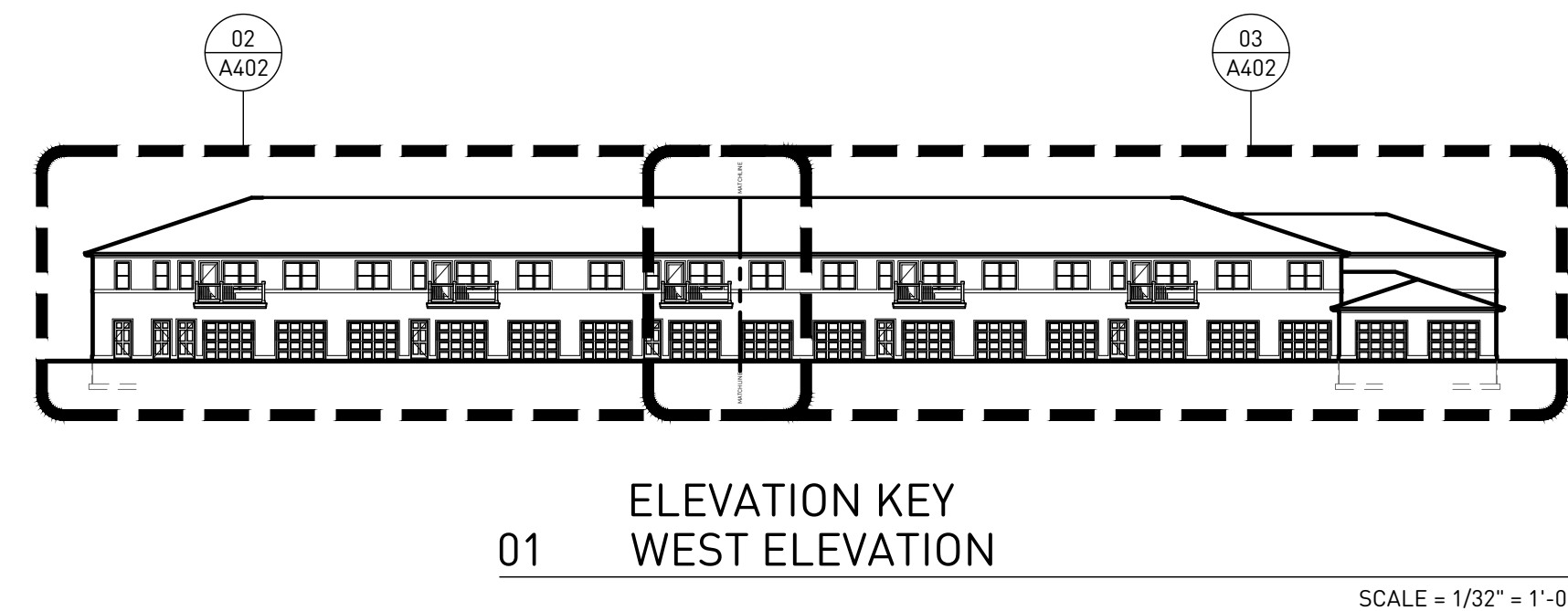
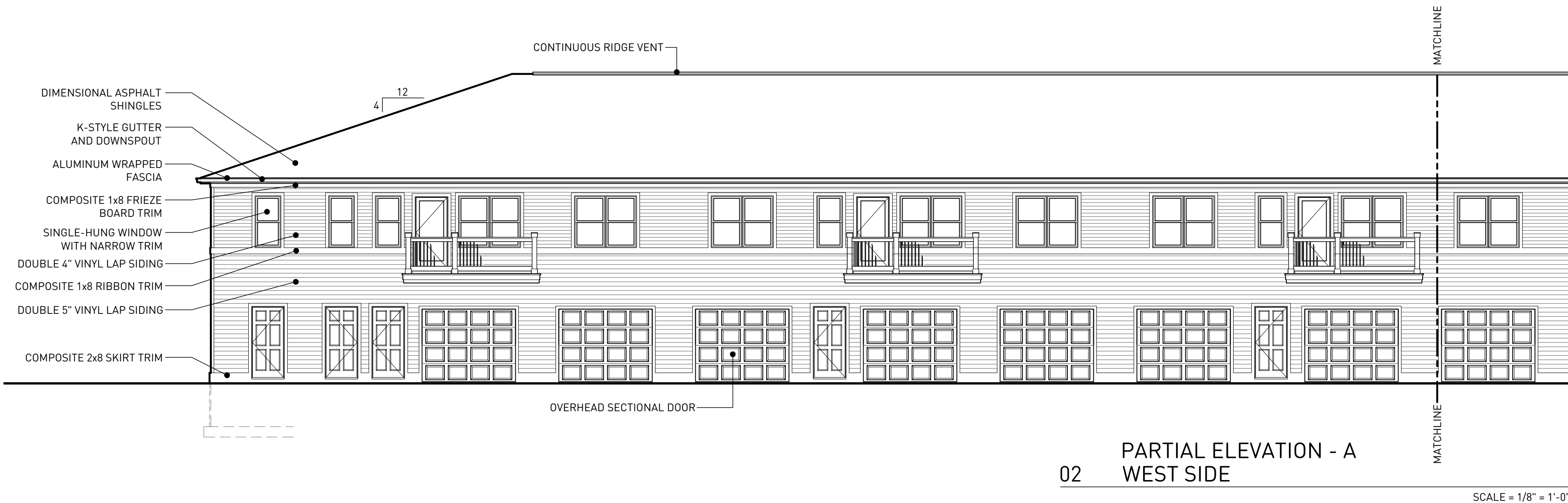
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08.02.2024

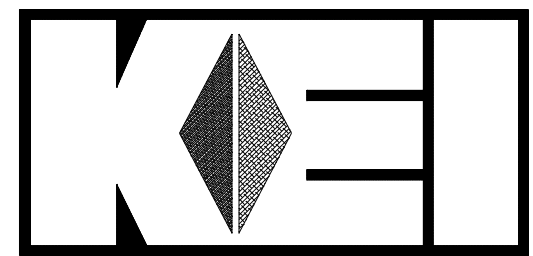
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REVIEW DOCUMENTS

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER

A402





KUJAWA ENTERPRISES, INC.
824 EAST RAWSON AVE.
OAK CREEK, WI 53154
PH (414) 766-8000

WWW.KEIORANGE.COM

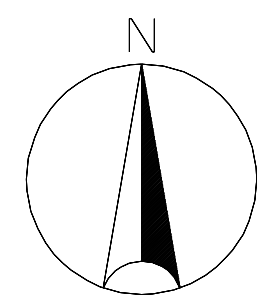
LEGAL NOTICE:
This drawing is the property of Kujawa Enterprises, Inc. and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from Kujawa Enterprises, Inc.

REVISIONS:		
NO	DATE	DESCRIPTION
1	1/25/22	REV 1

CLIENT NAME:
Mayville Apartments

PROJECT NAME:
Landscape Design

PROJECT ADDRESS:
1176 Dayton St
Mayville, WI



DRAWN BY:
Travis Bischoff

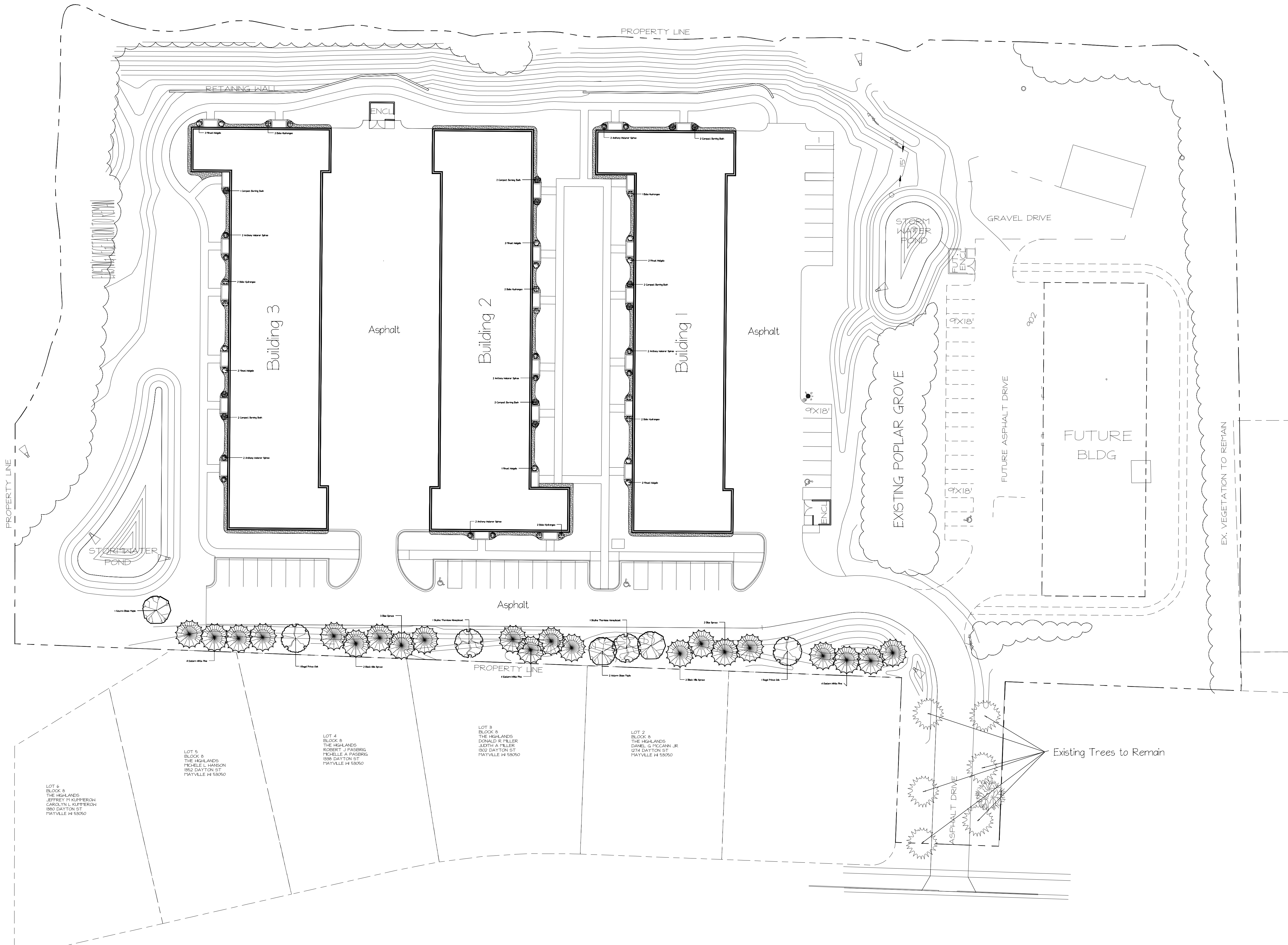
CHECKED BY:
Chris Kujawa

DATE:
1/25/2022

SHEET:
1 of 1

SCALE:
1" = 30'

SHEET NUMBER
L-100





August 7, 2024

Ms. Stephanie Justman, Administrator
City of Mayville
PO Box 273
15 S School Street
Mayville WI 53050

**RE: Popular Grove Multifamily Development Phase II
Site Plan Resubmittal**

Dear Stephanie,

On behalf of the City of Mayville, we are in receipt of revisions to both the site plan and architectural design for the proposed 2nd phase of the Popular Grove Multifamily Development. As a point of reference, the 1st phase of the development consisted of the erection of a single 18-unit apartment building in conjunction with the construction of site improvements. A second phase of the development, consisting of the erection of two 18-unit apartment buildings and ancillary site improvements, was conditionally approved by the city in 2022 but never constructed. The developer, Dayton One LLC, is currently seeking to again gain approval of the second phase of the Popular Grove Development; amended to incorporate two 19-unit buildings. The project is proposed on a 7-acre parcel located at 1176 Dayton Street.

The proposed Phase II development consists of erecting two, 2- story apartment buildings, of 19-units each west of the existing building. A fourth building is proposed to be constructed within a 3rd development phase at a future date. Development improvements include sanitary sewer and watermain extensions, storm sewer, access driveway with adjacent vehicular parking and stormwater management facilities. The 7-acre property is zoned RM Multiple-Family and required the acquisition of a conditional use permit, which received approval from the Plan Commission on July 22nd, 2020. The project is being developed by Dayton One, LLC.

The architectural plans were prepared by Hayden Thacker Architecture and the site civil drawings were developed by Trio Engineers. Documents, reviewed in concert with the Popular Grove Multifamily.

Development consists of the following:

- 1) Site Plans (11-sheets)
 - Existing site and demolition plans
 - Overall development plan
 - Proposed site plan
 - Grading & drainage plan
 - Erosion control plan
 - Utility plan
 - Sanitary sewer & watermain extension plan

- Biofiltration pond detail
- Construction details and notes
- 2) Architectural Plans (10 - sheets)
 - Floor Plans for both 1st and 2nd stories
 - Building Elevations
 - Roof Plan & Building Sections
 - Unit Layout Plans

NOTE: The Stormwater Management Plan, Prepared by Sound Stormwater Design LLC was not resubmitted.

GENERAL

The site development plans essentially mirror those conditionally approved by the city in 2022. However there have been modifications to the architectural plans that consist of the following:

- The number of units, within each building, has been increased to 19 from the 18-units previously proposed. Although the interior building configuration is different the footprint remains unchanged.
- Each building has 17 garage stalls whereas the previous submittal provided 18 garage stalls (1 for each unit).
- Each of the Phase II buildings will include (2) 1-bedroom units, (15) 2-bedroom units and (2) 3-bedroom units. The previous Phase II proposal incorporated (6) 1-bedroom units, (10) 2-bedroom units and (2) 3- bedroom units. In essence the developer is providing an additional (5) 2- bedroom units than previously proposed.
- The dumpster enclosure is being eliminated and converted into two additional parking spaces to better accommodate the additional units.

SITE SUMMARY

The site for the proposed Popular Grove Multifamily project consists of 7.04-Acres of property with a single access to Dayton Street. The property abuts a single-family neighborhood to the south. The parcel is partially wooded with delineated wetlands identified along the drainage ditch on the north, east and western property boundaries. Delineated wetlands are located along both the west and north property lines. A summary of site conditions for the proposed complex (3-buildings existing & proposed) is as follows:

- Total Units – 56 (1, 2 and 3-bedroom apartments)
- Total Impervious Area – 2.71 Acres (38.5% of the site)
- Total Open Space – 4.33 Acres including stormwater management basins (61.5% of the site)
- Total Parking – 39 spaces plus 52 garage accommodations for a total of 91, excluding parking within the driveways.
- Density – 7.95 units/acre (will increase when the 4th building is constructed)



Note: The above site summary is based upon the one 18-unit and (2) 19-unit apartment buildings as currently proposed. The amount of open space will decrease as site density increases.

SITE IMPROVEMENTS

A 24-foot-wide asphalt drive is to be proposed from Dayton Street and will extend west to provide vehicular access to both the parking lots and garages serving the two new buildings. A total of 39-surface parking spaces will be provided, including three (3) handicapped stalls, with dimensions of 18-FT by 9- Ft. Greenspace will extend from the access driveway to the southerly property line.

Both Sanitary sewer and watermain have been extended from Dayton Street through the first phase of the development. The existing sanitary sewer extends into the second phase of the development and 6-inch PVC service laterals will be extended to each building. An 8-inch PVC private water main will be extended from the Phase 1 development with 6-inch water services to be extended to each building. A 6-foot-wide internal concrete sidewalk will be constructed throughout the site to provide pedestrian access to the buildings, 1st floor patios, garages and parking lots.

Storm sewer will be extended between the buildings and be intercepted within a a trunk sewer within the east/west driveway with an outfall into the proposed stormwater management basin. The storm sewer throughout the property is comprised of HDPE pipe with sizes ranging from 12-inches to 24-inches. Storm sewer inlets and manholes are integral parts of the storm sewer system.

There is an existing framed garage, approximately 1,350 SF, located in the NE corner of the site which is to remain. A gravel driveway extending from the existing parking lot will serve the garage.

STORMWATER MANAGEMENT

As required by City Ordinance a stormwater management report was previously prepared by Sound Stormwater design LLC, dated January 14,2022. The proposed stormwater management plan consists of the construction of 2 Biofiltration ponds located at the NE and SW corners of the site beyond the proposed building envelopes.

The stormwater management plan has been developed to both attenuate stormwaters discharged from the site as well as reduce suspended solids by 80% (new development) and 40% (redevelopment) consistent with Wisconsin Stormwater Regulations NR151.123 and NR 151.122 respectively. It should be noted that a stormwater management report amendment will be required if and when the developer decides to erect a 4th building to the 3-building complex as proposed herein.

There is a third component to site stormwater management as prescribed by Wisconsin Stormwater regulations. NR 151.124. This subsection of the code prescribes infiltration standards and requires that post development infiltration attain at least 75% of the pre-development infiltration volume based upon annual average rainfall. The Sound Stormwater Design LLC report states that "Soil borings will be performed to further evaluate the site for infiltration." The stormwater management facility, serving the Phase II buildings will be constructed at the SW corner of the site. The facility is designed as a biofiltration basin in order to reduce stormwater runoff, improve the quality of stormwater runoff and moreover meet site infiltration requirements set forth in NR151.124.

The biofiltration basin is proposed to be constructed at the outlet of the storm sewer system at the SW quadrant of the site. The basin is 4-feet deep with a spillway elevation 3-feet above the bottom. The outfall structure will

be constructed to attenuate stormwater runoff for 1-year, 2-year and 10-year storm events and pass the 100-year storm. The stormwater management pond will outfall through an 18-inch RCP culvers and discharge to the existing wetland along the westerly property line. The biofiltration basin construction is a critical part of the stormwater management plan and therefore the construction contractor is to follow the requirements set forth within page C2.1 of the plans and in addition retain a qualified soils professional (geologist or engineer) onsite to both evaluate soils conditions and verify that construction standards are maintained during construction. An inspection report from a registered professional is to be submitted to the city verifying that the stormwater biofiltration basin has been constructed in accordance with both plan provisions and WDNR requirements.

BUILDING CONSTRUCTION

Each of the Phase 2 buildings will incorporate 19 apartments consisting of (2) 1-bedroom units, (15) 3-bedroom units and (2) 3-bedroom units in addition to 17 single stall garages. The buildings are of two-story design with approximate dimensions of 250-feet by 66-feet with an eve height of 17-feet and an overall height of 29-feet at the roof peak. The 1st floor apartments have access to patios while the units on the 2nd floor are provided decks. The phase II buildings are 74-feet apart with the intermediate space being asphalt pavement.

The proposed buildings reflect a low hip roof Prairie Style design. Dimensional asphalt shingles will be installed on all roofs. The exterior will be wrapped in lap siding and the decks will be enclosed with vinyl railings.

ZONING

The 7-acre parcel has been rezoned to the RM Multiple-Family District. The RM District restricts apartment buildings to a maximum of 8-units and therefore the Developer obtained a Conditional Use permit to facilitate the construction of three 18-unit apartment buildings (reference Plan Commission minutes July 22,2020). The Popular Grove development appears to meet all the building setback requirements building within the RM Multiple-Family District.

LANDSCAPING & SITE LIGHTING

We understand that the only site lighting proposed will be via LED wall-packs affixed to the buildings, the purpose of which is to illuminate parking areas and pedestrian ways. The sample wall pack cut sheet, previously submitted, illustrated an LED 3000-K light fixture with shields to limit light pollution. If additional site lighting is to be installed, beyond the building wall packs, the developer is required to furnish the city with both an overall lighting plan along with a photometric plan for review and approval.

The landscaping plan is relatively basic with the intent to preserve as much of the surrounding woodlot as possible including the existing trees along the entrance driveway. As requested within the previous review letter the developer is proposing to provide a landscape screen along the southern border with the adjoining residential development. The proposal calls for a tree line to be established with a mixture of coniferous and deciduous trees to be planted along the property line.

A planting bed will be established, along the building perimeter, with shrubs and bushes to be spaced at opposite ends of the patios extending into the rear courtyard. We can assume that the balance of the area between buildings will consist of a lawn area.

EROSION CONTROL

TRIO has prepared a comprehensive erosion control plan to guide construction activities throughout the Phase II construction project. They primarily consist of the following elements:

- Inlet Protection – Is to be provided over all existing and future storm inlets.
- Silt Fence – To be erected along both the west and northern reaches of the property abutting the Phase II grading limits.
- Stone Tracking Pad – A stone tracking pad will be installed at the southern entrance to the Phase II construction project. The tracking pad will ensure that silt and graded material will not be tracked onto city streets.
- Ditch Checks – Ditch checks consisting of staked in place filtration sock will be installed at intervals within drainageways extending from the biofiltration basin.
- Erosion Matting – Erosion Mat will be installed within newly excavated drainageways and on graded slopes to limit topsoil erosion until the site can be permanently stabilized.

In addition, the plans (reference pages C3.0 and C5.0) dictate a stringent construction sequence and details to ensure that all erosion control BMPs are installed, inspected and maintained throughout the construction process.

Note: A Notice of Intent (NOI) to undertake grading will also need to be procured from WDNR since the scope of sitework is greater than an acre.

CONCLUSIONS & RECOMMENDATIONS

The site plan submittal for Popular Grove Multifamily development appears adequate to enable the City Plan Commission to both review and conditionally approve the proposed development.

Based upon our review of the Popular Grove site plan submittal package we recommend that the City of Mayville Plan Commission consider contingent approval of the Popular Grove multifamily development subject to the following conditions:

- 1) That a Notice of Intent (NOI) be secured from the WDNR prior to initiating any grading activities.
- 2) That the City Attorney prepare a stormwater maintenance agreement to ensure that the wet ponds and appurtenances are both constructed and maintained in perpetuity.
- 3) That the stormwater management plan be amended to incorporate the impact of undertaking the construction of a fourth building at a future date. This may necessitate the resizing of stormwater management facilities.
- 4) That City Utility personnel inspect all connections to the Municipal Sanitary Sewer and Watermain proposed within Dayton Street.
- 5) That a registered soils professional (engineer/geologist) be onsite during excavation of the biofiltration basin to gage soil conditions (infiltration capacity) and monitor construction. The soils professional is to file a report with the city attesting to the construction in accordance with plan requirements.



-
- 6) That plans for sight signage and/or onsite lighting, be submitted to the city if planned by the developer.
 - 7) Any other conditions as set forth by the City of Mayville Plan Commission.

On behalf of Kunkel Engineering Group this concludes our review of the Popular Grove Development site plan amendment, as submitted on behalf of Dayton One LLC. Should either you are representatives of the City Plan Commission have any questions please contact me.

Sincerely

Nick Chikowski

Nick Chikowski
Engineering Technician
Kunkel Engineering Group

Via Email
August 2, 2024

Mr. Nick Chikowski
Kunkel Engineering Group
107 Parallel Street
Beaver Dam, WI 53916

City of Mayville
Attn: Ms. Stephanie Justman
PO Box 273
Mayville, WI 53050

RE: Poplar Grove Multifamily Development – Site Plan Resubmittal #2

Dear Mr. Chikowski & Ms. Justman,

Please find included with this letter an updated site plan submittal for the Mayville Planning Commission that includes the following items for the for the proposed Poplar Grove Apartments Phase 2 located at 1208 & 1212 Dayton Street in Mayville, WI for your review.

- updated site plans,
- updated civil engineering drawings,
- updated stormwater management memo,
- updated architectural plans and elevation
- Site plan application

The site plan is being resubmitted for the City to consider the following:

- Inclusion of one (1) additional unit in each of the two proposed buildings.
- Revisions to building massing to accommodate the additional unit. Please note the building footprint has not been altered.
- Conversion of dumpster pad into two (2) surface parking spaces. All units have individual trash and recycling containers by a private waste hauler.
- Revision of unit mix of building #2 & #3 to include (2) 1-bedroom units, (15) 2-bedroom units & (2) 3-bedroom units. Previous mix included (6) 1-bedroom units, (10) 2-bedroom units and (2) 3-bedroom units.
- Final version of phase 2 civil plans and storm water calculations.

Thank you for your consideration and please let us know if you have any questions or need any further information.

Sincerely,

A handwritten signature in black ink that reads "Kory Krieser". The script is fluid and cursive, with the first letters of each word being capitalized and prominent.

Kory Krieser

Member

Dayton One, LLC

Cc: Mayor Boelk, City Clerk, Tom Baade – Dayton One, Matt Bailey – Trio Engineers, Ryan Thacker – Haydin Thacker Architecture.



15 South School Street, PO Box 273, Mayville WI 53050
Phone: 920.387.7900 Fax: 920.387.7919
WWW.MAYVILLECITY.COM

STAFF MEMO

Meeting Date: September 25, 2024

Agenda Item: Introduction of Zoning Petition for St. John's, Parcel No. 251-1216-2313-103, Current Zoning: RM Multifamily and B-2 Outlying Business, Proposed Zoning: I-1 Institutional

To: Plan Commission Members

From: Nick Chikowski

Background and Analysis:

This is an introduction for a rezone application.

Site Plan:

None.

Review Procedures:

1. Introduction at this meeting.
2. Public Hearing at a later Plan Commission meeting.
3. At a later Plan Commission meeting, discussion and recommendation to Common Council for approval or denial at next meeting.

Signage:

None.

Additional Staff Comments:

None.

Notice Requirements:

1. Notice on the agenda.
2. Class II Notice of Public Hearing, to be held at a subsequent Plan Commission meeting.
3. Written notice to any property owner within 1,000 feet of any land to be affected by the proposed change or amendment.

Attachments:

1. Application for Rezoning, Applicant: St. John's Church and School

**CITY OF MAYVILLE
APPLICATION FOR REZONING**

Identification and Information on Applicant(s)

Applicant's Name: St. John's Church and School
Applicant's Mailing Address: 482 S. Herman Phone: 920-948-6516

Street Address of Property (if vacant land, describe in detail the property location):

407 Dayton Str.

Legal Description of Property (Name of Subdivision, Block and Lot, or other legal description):

Parcel Number: 251-1216-2313-103

Current Land Use: School Size: _____

Currently Zoned: B2IRM Proposed Zoning: F1

Plot Plan

A plot plan drawn to a minimum scale of one inch equals 100 feet showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned. (Mayville Municipal Code 430-127)

Signature of Applicant William T. Mucha Date 9-5-24

Application Fees/Notices
(to be completed by City)

Date Fee Received by City 9-5-2024

Received by DM Hunt - Nick's Church

Date Notice sent to owners of record: _____ By: _____

Date Published in Dodge County Pioneer: _____

Date Set for Hearing Before Board of Zoning Appeals: _____



15 South School Street, PO Box 273, Mayville WI 53050
Phone: 920.387.7900 Fax: 920.387.7919
WWW.MAYVILLECITY.COM

STAFF MEMO

Meeting Date: September 25, 2024

Agenda Item: Discussion regarding City of Mayville Zoning Districts and possible changes to the Permitted and Conditional Uses.

To: Plan Commission and City Staff

From: Nick Chikowski

Background and Analysis:

Discussion about changes to the City's Municipal Code regarding Zoning Permitted and Conditional Uses.

Site Plan:

See attached Municipal Code - Zoning

Review Procedures:

Discussion to be had to identify changes to the Permitted and Conditional Uses. There will have to be a public hearing before another review by the Plan Commission to recommend the approvals to the Common Council.

Signage:

None.

Additional Staff Comments:

Building Inspector: The zoning map needs to be reviewed and updated city-wide. There are areas that are zoned incorrectly and makes it so people are not able to have accessory structures or additions due to the setback requirements in the current zoning.

Notice Requirements:

None.

Attachments:

1. City of Mayville Zoning Code

City of Mayville, WI
Thursday, August 8, 2024

Chapter 430. Zoning

Article V. Basic District Regulations

§ 430-33. R-AA Single-Family District.

[Added by Ord. No. 728-91]

- A. Intent. The R-AA Residential District is intended to provide for single-family residential development served by municipal sewer and water facilities.
- B. Principal uses. Principal uses are as follows:
 - (1) Single-family dwellings.
 - (2) Community-based residential facility or community living arrangement for eight residents or fewer.
[Added 4-12-2004 by Ord. No. 955-2004]
- C. Permitted accessory uses. Permitted accessory uses are as follows:
 - (1) Attached private garages and carports.
 - (2) Detached gardening, tool and storage sheds not in excess of 144 square feet, which are incidental to the residential use, not exceeding one per lot.
[Amended 2-10-2003 by Ord. No. 934-2003]
 - (3) Swimming pools and tennis courts.
 - (4) Home occupations and professional home offices.
 - (5) Detached private garages, provided that they are constructed of a similar type of construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.
- D. Conditional uses. Conditional uses are as follows:
[Amended by 4-12-2004 by Ord. No. 955-2004]
 - (1) Utilities and essential services.
 - (2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.
 - (3) Public, private and parochial elementary and secondary schools and churches.
- E. Lot area and width. Lot area and width requirements are as follows:
 - (1) Minimum lot area: 18,000 square feet.
 - (2) Minimum lot width: 120 feet.

F. Building height and area. Building height and area requirements are as follows:

- (1) No building or parts of a building shall exceed 35 feet in height.
- (2) No building area shall occupy less than 1,500 square feet of ground area.

G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 30 feet.
- (2) Minimum side yard: 10 feet.
- (3) Minimum rear yard: 50 feet.

§ 430-34. R-A Single-Family District.

A. Intent. The R-A Residential District is intended to provide for single-family residential development served by municipal sewer and water facilities.

B. Principal uses. Principal uses are as follows:

- (1) Single-family dwellings.
- (2) Community-based residential facility or community living arrangement for eight residents or fewer.
[Added 4-12-2004 by Ord. No. 955-2004]

C. Permitted accessory uses. Permitted accessory uses are as follows:

- (1) Private attached garages and carports.
- (2) Swimming pools and tennis courts.
- (3) Home occupations and professional home offices.
- (4) Detached private garages, provided that they are constructed of a similar type of construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.
- (5) Detached gardening, tool and storage sheds not in excess of 144 square feet, which are incidental to the residential use, not exceeding one per lot.
[Added 2-10-2003 by Ord. No. 934-2003]

D. Conditional uses. Conditional uses are as follows:

[Amended 4-12-2004 by Ord. No. 955-2004]

- (1) Utilities and essential services.
- (2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.
- (3) Public, private and parochial elementary and secondary schools and churches.

E. Lot area and width. Lot area and width requirements are as follows:

- (1) Minimum lot area: 12,000 square feet.
- (2) Minimum lot width: 100 feet.

F. Building height and area. Building height and area requirements are as follows:

- (1) No building or parts of a building shall exceed 35 feet in height.

(2) No building area shall occupy less than 1,250 square feet of ground area.

G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 25 feet.
- (2) Minimum side yard: 10 feet.
- (3) Minimum rear yard: 40 feet.

§ 430-35. R-B Single-Family District.

[Amended by Ord. No. 728-91]

A. Intent. The R-B Residential District is intended to provide for single-family residential development served by municipal sewer and water facilities.

B. Principal uses. Principal uses are as follows:

- (1) Single-family dwellings.
- (2) Community-based residential facility or community living arrangement for eight residents or fewer.
[Added 4-12-2004 by Ord. No. 955-2004]

C. Permitted accessory uses. Permitted accessory uses are as follows:

- (1) Attached private garages and carports.
- (2) Detached gardening, tool and storage sheds not in excess of 144 square feet, which are incidental to the residential use, not exceeding one per lot.
[Amended 2-10-2003 by Ord. No. 934-2003]
- (3) Swimming pools and tennis courts.
- (4) Home occupations and professional home offices.
- (5) Detached private garages, provided that they are constructed of a similar type of construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.

D. Conditional uses. Conditional uses are as follows:

[Amended by 4-12-2004 by Ord. No. 955-2004]

- (1) Utilities and essential services.
- (2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.
- (3) Public, parochial, and private elementary and secondary schools and churches.

E. Lot area and width. Lot area and width requirements are as follows:

[Amended by 3-10-2003 by Ord. No. 937-2003]

- (1) Minimum lot area: 9,000 square feet.
- (2) Minimum lot width: 90 feet.

F. Building height and area. Building height and area requirements are as follows:

- (1) No building or parts of a building shall exceed 35 feet in height.

(2) No building area shall occupy less than 750 square feet of ground area.

G. Yards. Yard requirements are as follows:

(1) Minimum street yard: 25 feet.

(2) Minimum side yard: 10 feet.

(3) Minimum rear yard: 25 feet.

§ 430-36. R-B-1 Mixed One- and Two-Family District.

A. Intent. The R-B-1 Mixed One- and Two-Family District is intended to provide for structures in older areas where single-family conversions to two-family dwellings are likely, provided that the area is served by municipal sewer and water.

B. Principal uses. Principal uses are as follows:

(1) Single-family dwellings. See conditional use for two-family provisions.

(2) Community-based residential facility or community living arrangement for eight residents or fewer.

[Added 4-12-2004 by Ord. No. 955-2004]

C. Permitted accessory uses. Permitted accessory uses are as follows:

(1) Attached private garages and carports.

(2) Detached gardening, tool and storage sheds not in excess of 144 square feet, which are incidental to the residential use, not exceeding one per lot.

[Amended 2-10-2003 by Ord. No. 934-2003]

(3) Swimming pools and tennis courts.

(4) Home occupations and professional home offices.

(5) Detached private garages, provided that they are constructed of a similar type of construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.

D. Conditional uses. Conditional uses are as follows:

[Amended by Ord. No. 920-2001; 2-10-2003 by Ord. No. 933-2003; 4-12-2004 by Ord. No. 955-2004]

(1) Utilities and essential services.

(2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.

(3) Public, parochial and private elementary and secondary schools and churches.

(4) Conversions from one-family to two-family.

(5) Bed-and-breakfast establishments, provided that the following criteria are met:

(a) Permit nontransferable. A permit cannot be transferred from one owner/operator to another; permits expire upon sale of the building or residence or if the bed-and-breakfast operation is discontinued for 12 months.

(b) Renewable permit. A permit is valid for two years, subject to follow-up review and permit renewal.

- (c) Revocation and modification. A permit can be modified or revoked at any time for noncompliance with permit conditions, general nuisance violations or if the characteristics of the operation change over time.
 - (d) Owner occupancy. The owner/operator of a bed-and-breakfast also needs to live in the bed-and-breakfast building or residence.
 - (e) Bedrooms. The maximum number of guest bedrooms is three.
 - (f) Building modifications. Major improvements or exterior renovations needed exclusively for the bed-and-breakfast operation that are not consistent with the neighborhood or original appearance of the residence are not allowed.
 - (g) Food service. Only breakfast can be served, and the operator cannot promote the bed-and-breakfast as a restaurant.
 - (h) Kitchen facilities. All applicable local and state health and food preparation regulations (if any) must be met; no separate kitchen facilities are allowed in rented rooms.
 - (i) Firesafety. All applicable local and state firesafety requirements must be met; in addition, basic measures such as smoke detectors, fire extinguishers and posted exit routes should be provided and required before an occupancy permit is issued.
 - (j) Unauthorized uses. The bed-and-breakfast cannot be used for long-term occupancy, paid receptions, parties, etc.
 - (k) Retail sales. No retail sales of third-party goods are permitted.
 - (l) Signs. Only nonilluminated signs are allowed, typically wall mounted or on an attractive freestanding street yard post, equal to or less than five square feet in area.
 - (m) Traffic and parking. Traffic volume is not to exceed that typical for the neighborhood. One parking space for each guest room (bedroom) in addition to regular resident parking is required.
 - (n) Exterior lighting. As part of the plan submitted, detailed information shall be submitted on exterior lighting so that effects on surrounding property can be analyzed.
 - (o) There shall be no below-grade sleeping areas.
 - (p) A site plan shall be submitted as with any other conditional use request.
 - (q) Any other conditions as deemed appropriate to preserve the residential character of the neighborhood as determined by the Plan Commission.
- E. Lot area and width. Lot area and width requirements are as follows:
- (1) Minimum lot area: 7,000 square feet.
 - (2) Minimum lot width: 66 feet.
- F. Building height and area. Building height and area requirements are as follows:
- (1) No building or parts of a building shall exceed 35 feet in height.
 - (2) No single-family dwelling shall be less than 750 square feet of living area.
 - (3) No structure converted to a two-family occupancy shall occupy less than 750 square feet of ground area for the principal dwelling unit and 600 square feet of living area for the converted unit.
- G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 25 feet.
- (2) Minimum side yard: 10 feet.
- (3) Minimum rear yard: 40 feet.

§ 430-37. R-C Two-Family District.

- A. Intent. The R-C Two-Family Residence District is intended to provide for two-family residential development served by municipal sewer and water facilities
- B. Principal use. Principal uses are as follows:
- (1) Two-family dwellings, provided that all two-family lots must be serviced by double sewer and water laterals for all parcels with building permits issued after February 1, 2003.
[Amended 2-10-2003 by Ord. No. 932-2003^[1]]
[1] Editor's Note: This ordinance also repealed original § 17.22.030, Permitted use, which followed this subsection.
 - (2) Community-based residential facility or community living arrangement for eight residents or fewer.
[Added 4-12-2004 by Ord. No. 955-2004]
- C. Permitted use. Permitted uses are as follows:
[Added 3-10-2003 by Ord. No. 937-2003]
- (1) Two-family dwellings only, for R-C lots platted after March 1, 2003.
 - (2) Single-family dwellings permitted for approved plats dating prior to March 1, 2003.
- D. Permitted accessory uses. Permitted accessory uses are as follows:
- (1) Attached private garages and carports.
 - (2) Detached gardening, tool and storage sheds not in excess of 144 square feet, which are incidental to the residential use, not exceeding one per lot.
[Amended 2-10-2003 by Ord. No. 934-2003]
 - (3) Swimming pools and tennis courts.
 - (4) Home occupations and professional home offices.
 - (5) Detached private garages, provided that they are constructed of a similar type of construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.
- E. Conditional uses. Conditional uses are as follows:
[Amended by Ord. No. 795-94; 4-12-2004 by Ord. No. 955-2004]
- (1) Utilities and essential services.
 - (2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.
 - (3) Public, parochial, and private elementary and secondary schools and churches.
 - (4) Side-by-side single attached dwellings in a two-family residential district.
 - (a) In granting a conditional use permit for side-by-side single attached dwellings in a residential district (zero lot lines), the following conditions must be met:

- [1] Side-by-side single-family attached structures are not to exceed two family living units with one common wall and lot line.
 - [2] Each unit must maintain a minimum lot of 33 feet in width throughout the required lot area with a minimum lot area of 6,000 square feet provided for each dwelling unit.
 - [3] All building, fire prevention, area and yard requirements of the residential district apply excepting one common wall lot line.
 - [4] Each unit must have separate water and sanitary sewer service.
- (b) The owner of the property shall enter into a restrictive covenant in a form approved by the City Attorney.
- F. Lot area and width. Lot area and width requirements are as follows:
[Amended 3-10-2003 by Ord. No. 937-2003]
- (1) Minimum lot area: 10,000 square feet.
 - (2) Minimum lot width: 100 feet.
- G. Building area and height. Building area and height requirements are as follows:
- (1) No building or parts of a building shall exceed 35 feet in height.
 - (2) No building area shall be less than 750 square feet per living area.
 - (3) No building area shall be less than 750 square feet per unit under one roof.
- H. Yards. Yard requirements are as follows:
- (1) Minimum street yard: 25 feet.
 - (2) Minimum side yard: 10 feet.
 - (3) Minimum rear yard: 40 feet.

§ 430-38. RM Multiple-Family District.

- A. Intent. The RM Residence District is intended to provide for multiple-family residential development served by municipal sewer and water facilities.
- B. Principal uses. Principal uses are as follows:
- (1) Multiple-family dwellings of not fewer than three units and not to exceed eight units per structure.
 - (2) Community-based residential facility or community living arrangement for nine to 15 or more residents.
[Added 4-12-2004 by Ord. No. 955-2004]
- C. Permitted accessory uses. Permitted accessory uses are as follows:
- (1) Attached private garages and carports.
 - (2) Gardening, tool and storage sheds not to exceed 144 square feet, which are incidental to the residential use.
 - (3) Swimming pools and tennis courts incidental to the residential use.
 - (4) Detached private garages, provided that they are constructed of a similar type of

construction as the principal structure. Different construction types may be used provided that they receive prior Plan Commission approval.

D. Conditional uses. Conditional uses are as follows:

[Amended 4-12-2004 by Ord. No. 955-2004]

- (1) Multiple-family structures over eight units.
- (2) Governmental and cultural uses such as fire and police stations, community centers, libraries, public emergency shelters, parks, playgrounds and museums.
- (3) Public, parochial, and private elementary and secondary schools and churches.
- (4) Rest homes, nursing homes, homes for the aged, clinics, and children's nurseries.
- (5) Two-family dwelling.

E. Lot area and width. Lot area and width requirements are as follows:

- (1) Minimum lot area: 15,000 square feet with no less than 2,000 square feet per efficiency, 2,500 square feet per one-bedroom unit and 3,000 square feet per two-bedroom unit, with 500 square feet added for each additional bedroom over two bedrooms.
- (2) Minimum lot width: 120 feet.

F. Building height and area. Building height and area requirements are as follows:

- (1) No building or parts of a building shall exceed 35 feet in height.
- (2) Minimum living area: 600 square feet per unit.

G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 25 feet.
- (2) Minimum side yard: 20 feet.
- (3) Minimum rear yard: 50 feet.

H. Site plan. Every builder of any building hereafter erected or structurally altered for multiple-family use shall, before a building permit is issued, present a detailed site plan as pertaining to the proposed structures to the City Plan Commission, which will approve said plans only after determining that the proposed building(s) will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood.

§ 430-39. MH Mobile Home Park and Mobile Home Subdivision District.

[Added by Ord. No. 728-91]

A. Permitted uses. Permitted uses are as follows:

- (1) Mobile home parks.
- (2) Mobile home subdivisions.

B. Conditional uses. There are no conditional uses.

C. Mobile home park requirements. (See also Chapter **290**, Mobile Homes and Mobile Home Parks,

of this Code.)

(1) Park requirements. Park requirements are as follows:

- (a) A minimum of five acres.
- (b) Forty-foot minimum setbacks on all sides.
- (c) A hard-surface road no less than 24 feet wide serving all mobile home spaces.
- (d) Electricity, cable television and public sewer and water servicing all mobile home spaces.
- (e) A central hard-surface parking lot with one parking space for each three mobile home spaces.
- (f) A separate building providing laundry facilities.
- (g) An on-site manager's office.

(2) Space requirements. Space requirements are as follows:

- (a) Minimum space frontage of 40 feet.
- (b) Minimum space area of 4,000 square feet.
- (c) Minimum street yard of 25 feet.^[1]
[1] Editor's Note: Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. II).
- (d) Minimum side yards of 10 feet.
- (e) Minimum rear yard of 25 feet.
- (f) Off-street parking of two spaces per mobile home.

D. Mobile home subdivision lot, yard and building requirements. Mobile home subdivision lot, yard and building requirements are as follows:

- (1) Lot frontage: minimum 50 feet.
- (2) Lot area: minimum 6,000 square feet.
- (3) Principal building:
 - (a) Street yard: minimum 25 feet.^[2]
[2] Editor's Note: Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. II).
 - (b) Side yards: minimum 10 feet.
 - (c) Rear yard: minimum 25 feet.
- (4) Building height: maximum 15 feet.
- (5) Percentage of lot coverage: maximum 25%.
- (6) Living area: minimum 500 square feet.
- (7) Off-street parking: minimum two spaces.

E. Plan approval. Review and approval of a mobile home park subdivision shall be made by the Plan Commission. In addition to the requirements of this section, the procedure and requirements specified under the planned unit development district shall be the basis for review.

[3]

[3] *Editor's Note: See Art. VI, Planned Unit Development Overlay District.*

§ 430-40. B-1 Central Business District.

A. Intent. The B-1 Business District is intended to provide for orderly, appropriate regulations to ensure the compatibility of the diverse uses typical of the "downtown" area without inhibiting the potential for maximum development of commercial, cultural, entertainment, and other urban activities which contribute to its role as the "heart" of the City.

B. Principal uses. The principal uses are as follows:

Antique and collectors stores

Apparel repair

Automotive parts store

Bakeries

Banks, savings and loan associations, and other financial institutions

Barbershops

Bars and taverns

Beauty shops

Bookstores

Bowling alleys

Business offices

Camera and photographic supply stores

Caterers

Clinics

Clothing stores

Confectioneries

Delicatessens

Dental clinics

Department stores

Drugstores

Fish markets

Florists

Fraternities

Fruit stores

Furniture stores

Furriers and fur apparel

Gift stores

Grocery stores

Hardware stores

Hobby and craft stores

Jewelry stores

Lodges

Meat markets

Music stores
Newspaper and magazine stores
Optical stores
Packaged beverage stores
Paint, glass and wallpaper stores
Pet shops
Photography and art studios
Professional offices
Public utility offices
Radio and television stores
Restaurants
Secondhand stores
Self-service laundries and dry-cleaning establishments
Shoe repair stores
Shoe stores and leather goods stores
Soda fountains
Sporting goods stores
Stationery stores
Supermarkets
Theaters
Tobacco stores
Variety stores
Vegetable stores

C. Permitted accessory uses. Permitted accessory uses are as follows:

[Amended by Ord. No. 763-92]

- (1) Attached garages for storage of vehicles used in conjunction with the operation of the business or for the occupants of the premises.
- (2) Rental efficiency and one-bedroom apartments on a nonground level, provided that there shall be a minimum floor area of 400 square feet for an efficiency apartment, 500 square feet for a one-bedroom apartment, and 600 square feet for a two-bedroom apartment.

D. Conditional uses. Conditional uses are as follows: hotels; motels; medical clinics; dance halls; crematory services; gasoline service stations; automobile and truck rental services; automobile washing; veterinary clinics (provided that no service, including the boarding of animals, is offered outside of an enclosed building); utilities and essential services; new and used automobile agencies; aircraft and marine craft sales and the sale of tires, batteries and other automotive, marine and aircraft accessories; radio and television transmitting and receiving stations; detached garages for storage of vehicles used in conjunction with the operation of the business or for the occupants of the premises; and churches. Bus depots are permitted as conditional uses provided that all principal structures and uses are not less than 100 feet from any residential district lot line.

[Amended by Ord. No. 910-2000]

E. Lot area and width. Lot area and width requirements are as follows:

- (1) Minimum lot area: 4,000 square feet.
- (2) Minimum lot width: 40 feet.

- F. Building height. Building height requirements are as follows: no building or parts of building shall exceed 45 feet in height.
- G. Setbacks and yards. Setback and yard requirements are as follows:
- (1) No minimum setback shall be required.
 - (2) No minimum side yard is required between structures and the lot line or between adjacent structures; however, where a side yard is provided, it shall be not less than eight feet in width.
 - (3) There shall be a rear yard of not less than 25 feet.
 - (4) Where Building Code requirements mandate setbacks greater than stipulated in this section, they shall apply.^[1]
- [1] *Editor's Note: See Ch. 164, Building Construction.*
- H. Site plans. Every builder of any building hereafter erected or structurally altered for use in the business district shall, before a building permit is issued, present detailed site plans pertaining to the proposed structures to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the Central Business District.

§ 430-41. B-2 Outlying Business District.

- A. Intent. The B-2 Outlying Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.
- B. Principal uses. Principal uses are as follows:
- Antique and collectors stores
 - Apparel repair shops
 - Automotive parts store
 - Automotive sales and service agencies
 - Bakeries
 - Banks, savings and loan associations, and other financial institutions
 - Barbershops
 - Bars and taverns
 - Beauty shops
 - Bookstores
 - Bowling alleys
 - Building supply stores
 - Business offices
 - Camera and photographic supply stores
 - Caterers
 - Clinics
 - Clothing stores

Confectioneries
Delicatessens
Dental clinics
Department stores
Drugstores
Fish markets
Florists
Fraternities
Fruit stores
Furniture stores
Furriers and fur apparel stores
Gasoline service stations (provided that all service islands and pumps shall meet the setback requirements)
Gift stores
Grocery stores
Hardware stores
Hobby and craft stores
Jewelry stores
Lodges
Meat markets
Motels and motor hotels
Music stores
Newspaper and magazine stores
Optical stores
Packaged beverage stores
Paint, glass and wallpaper stores
Pet shops
Photography and art studio
Professional offices
Public utility offices
Radio and television stores
Restaurants
Secondhand stores
Self-service laundries and dry-cleaning establishments
Shoe repair stores
Shoe stores and leather goods stores
Soda fountains
Sporting goods stores
Stationery stores
Supermarkets
Theaters
Tobacco stores
Variety stores

Vegetable stores

C. Permitted accessory uses. Permitted uses are as follows:

- (1) Off-street parking areas.
- (2) Essential services.

D. Conditional uses. Conditional uses are as follows:

[Added by Ord. No. 886-99]

- (1) Drive-in establishments selling fruit and vegetables.
- (2) Gun stores.
- (3) Veterinary clinics.
- (4) Professional offices of an architect, interior decorator, landscape architect, lawyer, doctor, Christian Science practitioner, dentist, clergy, engineer, or other similarly recognized profession.
- (5) Studios for photography, painting, music, sculpture, dance or other recognized fine art.
- (6) Real estate and insurance offices.
- (7) Garages for storage of vehicles used in conjunction with the operation of the permitted use.
- (8) Self-storage units; provided, however, that the following additional conditions are met:
[Added 3-25-2019 by Ord. No. 1105-2019]
 - (a) The parcel of property on which the self-storage units are located is neither adjacent to nor has direct access to state highways; and
 - (b) The subject parcel on which the self-storage units are located is not closer than 500 feet to any property zoned or used for single-family residential purposes; and
 - (c) The exterior of the self-storage units fronting a public roadway shall be of at least 30% masonry construction, including split block, brick, panelized, or similar masonry materials as approved by the Plan Commission.

E. Lot area and width. Lot area and width requirements are as follows:

- (1) Minimum lot area: 20,000 square feet.
- (2) Minimum lot width: 100 feet.

F. Building height and area. Building height and area requirements are as follows:

- (1) No principal building or parts of a principal building shall exceed 45 feet in height.
- (2) No accessory building shall exceed 15 feet in height.
- (3) Floor area of all principal and accessory buildings combined shall not exceed 30% of the lot area; provided, however, that if the subject parcel includes self-storage units the Plan Commission, in its discretion, may waive this requirement.
[Amended 3-25-2019 by Ord. No. 1105-2019]

G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 50 feet.
- (2) Minimum side yard: 10 feet.

(3) Minimum rear yard: 25 feet.

- H. Site plans. Every builder of any building hereafter erected or structurally altered for outlying business use shall, before a building permit is issued, present detailed site plans pertaining to the proposed structure to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood.

§ 430-42. B-3 Neighborhood Business District.

- A. Intent. The B-3 Business District is intended to provide for individual or small groups of retail and customer service establishments. This type of district is generally located away from the traditional Central Business District and provides such amenities as increased open space and off-street parking and loading facilities, making such retail centers more compatible with the character of adjacent residential districts.

- B. Principal uses. Principal uses are as follows:

Antique and collectors stores

Apparel repair

Automotive parts store

Bakeries

Banks, savings and loan associations, and other financial institutions

Barbershops

Bars and taverns

Beauty shops

Bookstores

Bowling alleys

Business offices

Camera and photographic supply stores

Caterers

Clinics

Clothing stores

Confectioneries

Delicatessens

Dental clinics

Department stores

Drugstores

Fish markets

Florists

Fraternities

Fruit stores

Furniture stores

Furriers and fur apparel

Gift stores

Grocery stores
Hardware stores
Hobby and craft stores
Jewelry stores
Lodges
Meat markets
Music stores
Newspaper and magazine stores
Optical stores
Packaged beverage stores
Paint, glass and wallpaper stores
Pet shops
Photography and art studios
Professional offices
Public utility offices
Radio and television stores
Restaurants
Secondhand stores
Self-service laundries and dry-cleaning establishments
Shoe repair stores
Shoe stores and leather good stores
Soda fountains
Sporting goods stores
Stationery stores
Supermarkets
Theaters
Tobacco stores
Variety stores
Vegetable stores

C. Permitted accessory uses. Permitted accessory uses are as follows:

- (1) Garages for storage of vehicles used in conjunction with the operation of the business or for occupants of the premises.
- (2) Off-street parking areas.
- (3) Residential quarters for the owner, proprietor, commercial tenant, employee or caretaker located in the same building as the business.
- (4) Rental efficiency and one-bedroom apartments on a nonground level, provided that there shall be a minimum floor area of 400 square feet for an efficiency apartment, 500 square feet for a one-bedroom apartment, and 600 square feet for a two-bedroom apartment.

D. Conditional uses. Conditional uses are as follows: hotels; motels; medical clinics; dance halls; health and fitness centers; crematory services; gasoline service stations; automobile and truck rental services; automobile washing; veterinary clinics, provided that no service, including the boarding of animals, is offered outside of an enclosed building; utilities and essential services; new and used automobile agencies; aircraft and marine craft sales and the sale of tires,

batteries and other automotive, marine and aircraft accessories; and radio and television transmitting and receiving stations. Bus depots are permitted as conditional uses, provided that all principal structures and uses are not less than 100 feet from any residential district lot line. [Amended 4-11-2022 by Ord. No. 1132-2022]

- E. Lot area and width. Lot area and width requirements are as follows:
 - (1) Minimum lot area: 4,000 square feet.
 - (2) Minimum lot width: 40 feet.
- F. Building height. Building height requirements are as follows: no building or parts of building shall exceed 45 feet in height.
- G. Setbacks and yards. Setbacks and yard requirements are as follows:
 - (1) Minimum setback: 25 feet.
 - (2) Minimum side yard: 10 feet.
 - (3) There shall be a rear yard of not less than 30 feet.
 - (4) Where Building Code requirements mandate setbacks greater than stipulated in this section, they shall apply.^[1]
[1] *Editor's Note: See Ch. 164, Building Construction.*
- H. Site plans. Site plan requirements are as follows: every builder of any building hereafter erected or structurally altered for use in the business district shall, before a building permit is issued, present detailed site plans pertaining to the proposed structures to the City Plan Commission, which will approve said plans after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the Neighborhood Business District.

§ 430-43. B-4 Highway Commercial District.

[Added by Ord. No. 881-99]

- A. Intent. The B-4 Highway Commercial District is intended to provide for individual or small groups of retail and customer service establishments. This type of district is generally allocated away from the traditional Central Business District and is located along the major highway entrances to the City.
- B. Principal uses. There are no principal uses in this district. All uses are conditional uses and are subject to the review process for conditional uses.
- C. Permitted accessory uses: none. All accessory uses are conditional uses subject to conditional use review.
- D. Lot area and width. The lot should have a minimum area of 12,000 square feet and shall be not less than 120 feet in width at the road right-of-way.
- E. Building height. No buildings or parts of building shall exceed 45 feet in height.
- F. Setbacks and yards. Setback and yard requirements are as follows:
 - (1) Minimum street yard: 50 feet.
 - (2) Minimum side yard: 10 feet,

(3) Minimum rear yard: 25 feet.

- G. Site plans. A builder of any building hereafter erected or structurally altered in the Highway Commercial District shall, before a building permit is issued, obtain a conditional use permit and present detailed site plans pertaining to the proposed development to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent properties or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood. Adequate landscaping and buffering shall be provided to reduce the conflict between Highway Commercial Districts and adjoining properties and provide an aesthetically pleasing entrance to the City of Mayville.

§ 430-44. M-1 Light Manufacturing District.

- A. Intent. The M-1 Manufacturing District is intended to provide for manufacturing, industrial, and related uses of a limited nature and size in situations where such uses are not located in basic industrial groupings and where the relative proximity to other uses requires more restrictive regulations.
- B. Principal uses. Principal uses are as follows: processing, manufacturing and/or storage of the following, provided that the Plan Commission, in approving or disapproving proposed locations for uses under this section, shall give due consideration to the character and suitability for development of the neighborhood in which any such use is proposed to be located. The Plan Commission shall also base its decision on such evidence as may be presented regarding use attributes of the proposed use, such as increased traffic on the public streets, heavy vehicular traffic, and the emission of noise, smoke, dust or dirt, odorous or noxious gases, and the like that would be detrimental to such character and such suitability for the development.

Apparel and findings-related products

Automatic temperature controls

Baked goods and bakery products

Blank books, loose-leaf binders and devices

Books: publishing, printing and binding

Brooms and brushes

Candy and other confectionery products

Canvas products

Cereal preparations

Costume jewelry, costume desserts, novelties, buttons, and miscellaneous notions

Creamery butter

Curtains and draperies

Dental equipment and supplies

Dress and work gloves

Electrotyping and stereotyping, word processing

Engineering, laboratory and scientific and research instruments and associated equipment

Envelopes

Fabrics, broad and narrow-woven

Felt goods

Flavor extracts and flavor syrups

Floor coverings limited to rugs and carpeting

Footwear

Freight forwarding services, packing and crating services, and petroleum bulk stations and terminals

Fresh or frozen fruits, fruit juices, vegetables and specialties

Greeting cards

Handbags and other personal leather goods

Hats, caps and millinery

Household furniture and furnishings

Ice

Ice cream and frozen desserts

Jewelers' findings and materials

Jewelry and other precious metals

Knit goods

Lace goods

Lamp shades

Luggage

Macaroni, spaghetti, vermicelli and noodles

Manifold business forms

Mechanical measuring and controlling instruments

Men's, youths' and boys' furnishings, work clothing and allied garments

Mortician's goods

Musical instruments and parts

Newspapers: publishing and printing

Paper coating and glazing

Partitions, shelving, lockers, and office and store fixtures

Pens, pencils and other office and artist materials

Periodicals: publishing and printing

Photoengraving instruments and apparatus

Photographic equipment and supplies

Pleating, decorative and novelty stitching and tucking for the trade

Office furniture

Ophthalmic goods

Optical instruments and lenses

Orthopedic, prosthetic and surgical appliances and supplies

Pressed and molded pulp goods

Printing, commercial

Raincoats and other waterproof outer garments

Rice milling

Robes and dressing gowns

Sanitary paper products

Signs and advertising displays

Silverware and plated ware

Surgical and medical instruments and apparatus

Textiles, dyeing and finishing
Tire cord and fabric
Toys, amusement, sporting and athletic goods
Typesetting
Umbrellas, parasols and canes
Venetian blinds and shades
Wallpaper
Watches, clocks, clockwork-operated devices and parts
Women's, misses', juniors', girls' and infants' furnishings, work and dress garments
Wool scouring, worsted combing, and towing to top
Yarns and threads

C. Permitted accessory uses. Permitted accessory uses are as follows:

- (1) Garages for storage of vehicles used in conjunction with the operation of an industry.
- (2) Off-street parking and loading areas.
- (3) Office, storage, power supply, and other uses normally auxiliary to the principal industrial operations.

D. Conditional uses. Conditional uses are as follows:

- (1) Fur goods.
- (2) Airports, airstrips and landing fields, provided that the site is not less than 20 acres.
- (3) Utilities.
- (4) Heliports and bus and rail depots, provided that all principal structures and uses are not less than 1,000 feet from any residential district boundary.
- (5) Transmitting towers, receiving towers and relay and microwave towers without broadcast facilities or studios.
- (6) Processing and manufacturing of feeds prepared for animals and fowl, wholesale and/or retail warehousing of animal feeds, fertilizer, seeds, garden and lawn supplies, animal health products, and lawn equipment, provided that all above operations are conducted within an enclosed building.
- (7) Experimental, testing, and research laboratories.
- (8) Manufacturing and processing of dimension hardwood and flooring, veneer, and plywood.
- (9) Millwork, lumberyards, sawmills, and planing mills.

E. Lot area and width. Lot area and width requirements are as follows: lots in the M-1 District shall have a minimum of 7,200 square feet in area and shall be not less than 60 feet in width.

F. Building height. Building height requirements are as follows: no building or parts of a building shall exceed 45 feet in height.

G. Setbacks and yards. Setback and yard requirements are as follows:

- (1) Minimum street yard: 25 feet.
- (2) Minimum side yard: 10 feet.
- (3) Minimum rear yard: 25 feet.

- H. Site plans to be submitted to the Plan Commission. Every builder of any building hereafter erected or structurally altered for manufacturing use shall, before a building permit is issued, present detailed site plans pertaining to the proposed structures to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood.

§ 430-45. M-2 General Manufacturing District.

- A. Intent. The M-2 Manufacturing District is intended to provide for manufacturing and industrial development of a more general and less restrictive nature than the M-1 Light Manufacturing District in those areas where the relationship to surrounding land use would create fewer problems of compatibility and would not normally abut directly upon residential districts.
- B. Principal uses. Principal uses are as follows:
- (1) Those industrial uses permitted in the M-1 Light Manufacturing District.
 - (2) Processing, manufacturing and/or storage of the following, provided that the Plan Commission, in approving or disapproving proposed locations for uses under this section, shall give due consideration to the character and suitability for development of the neighborhood in which any such use is proposed to be located. The Plan Commission shall also base its decision on such evidence as may be presented regarding those attributes of the proposed use, such as increased traffic on the public streets, heavy vehicular traffic, and the emission of noise, smoke, dust or dirt, odorous or noxious gases, and the like, that would be detrimental to such character and such suitability for development.

Aircrafts and parts

Boat building and repairing

Coating, engraving and allied services

Communication equipment

Concrete and concrete products not including the manufacture of cement

Construction, mining and materials handling machinery and equipment

Cutlery, hand tools and general hardware

Electrical transmission and distribution equipment

Electric lighting and wiring equipment

Electronic components and accessories

Engines and turbines

Farm machinery and equipment

Fine earthenware, table and kitchen articles

Flat glass

Glass containers

Heating apparatus and plumbing fixtures

Household appliances

Inflammable gases, liquids, refining or manufacture of overground tank farms

Metal cans

Metal products, fabricated structural

Motorcycles, bicycles and parts

- Motor vehicles and motor vehicle equipment
- Office, computing and accounting machines
- Porcelain electrical supplies
- Radio and television receiving sets
- Ready-mix concrete plants
- Screw machines products and bolts, nuts, screws, rivets and washers
- Service industry machines
- Signaling and fire control equipment
- Stove and stove products, cut
- Warehousing
- Wire products, fabricated

C. Permitted accessory uses. Permitted accessory uses are as follows:

- (1) Garages for storage of vehicles used in conjunction with the operation of an industry.
- (2) Off-street parking and loading areas.
- (3) Offices, storage, power supply, and other uses normally auxiliary to the principal industrial operations.

D. Conditional uses. Conditional uses are as follows:
[Amended 1-10-2022 by Ord. No. 1128-2021]

- Acid, ammonia, bleach, chlorine or soap manufacture
- Airports, airstrips and landing fields, provided that the site is not less than 20 acres
- Ammunition manufacture
- Asphalt, coal and coal tar or coke manufacture
- Automobile wrecking yard or junkyard
- Brick and structural clay tile
- Cement, lime, gypsum or plaster of paris
- Clay refractories
- Distillation of bones
- Electrometallurgical products
- Experimental, testing and research laboratories
- Explosives or fireworks manufacture or storage
- Fat rendering
- Fertilizer manufacture
- Forge plants
- Fur goods
- Gelatine, glue or size manufacture
- Heliports, bus and rail depots, provided that all principal structures are not less than 100 feet from any residential district boundary
- Manufacturing and processing of dimension hardwood flooring, veneer and plywood
- Millwork, lumberyards, sawmills and planing mills
- Paving mixtures and blocks
- Slaughterhouse or stockyard
- Smelting

Transmitting towers, receiving towers and relay and microwave towers without broadcast facilities or studios

Used car sales and detailing

Utilities

Wood buildings and structural members construction and prefabrication and construction of wooden containers

Wood pressing

- E. Lot area and width. Lot area and width requirements are as follows: lots shall have a minimum area of 7,200 square feet and shall not be less than 60 feet in width.
- F. Building height. Building height requirements are as follows: no building or part of a building shall exceed 50 feet in height.
- G. Yards. Yard requirements are as follows:
 - (1) Minimum street yard: 25 feet.
 - (2) Minimum side yard: 10 feet.
 - (3) Minimum rear yard: 25 feet.
- H. Site plans to be submitted to Plan Commission. Every builder of any building hereafter erected or structurally altered for manufacturing use shall, before a building permit is issued, present detailed site plans pertaining to the proposed structures to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood.

§ 430-46. I-1 Institutional District.

- A. Intent. The I-1 Institutional District is intended to eliminate the ambiguity of maintaining, in unrelated use districts, areas which are under public-related ownership and where the use for public purpose is anticipated to be permanent.
- B. Principal uses. Principal uses are as follows:
 - (1) Public or private schools, including child-care facilities, colleges and universities.
[Amended 4-12-2004 by Ord. No. 955-2004]
 - (2) Churches.
 - (3) Hospitals, clinics, sanitariums, nursing homes and community living arrangements and community-based residential facilities.
[Amended 4-12-2004 by Ord. No. 955-2004]
 - (4) Libraries, museums and art galleries.
 - (5) Public administrative offices and public service buildings, including fire and police stations.
 - (6) Public utility offices.
- C. Permitted accessory uses. Permitted accessory uses are as follows:
 - (1) Residential quarters for caretakers or clergy.
 - (2) Garages for storage of vehicles used in conjunction with the operation of a permitted use.

- (3) Off-street parking and loading areas.
- (4) Service buildings and facilities normally accessory to the permitted uses.
- D. Conditional uses. Conditional uses are as follows:
 - (1) Utilities.
 - (2) Cemeteries.
 - (3) Crematory services.
- E. Lot area and width. Lot area and width requirements are as follows:
 - (1) Minimum lot area: 10,000 square feet.
 - (2) Minimum lot width: 80 feet.
- F. Building height. Building height requirements are as follows: no building or parts of a building shall exceed 50 feet in height.
- G. Yards. Yard requirements are as follows:
 - (1) Minimum street yard: 25 feet.
 - (2) Minimum side yard: 10 feet.
 - (3) Minimum rear yard: 25 feet.
- H. Site plans. Every builder of any building hereafter erected or structurally altered for institutional uses shall, before a building permit is issued, present detailed site plans pertaining to the proposed structure to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair property values within the neighborhood.

§ 430-47. P-C Park and Conservancy District.

- A. Intent. The P-C Park and Conservancy District is used to provide for areas where the open space and recreational needs, both public and private, of the citizens can be met without undue disturbance of natural resources and adjacent uses, and also is to be used to prevent distribution of valuable natural or man-made resources and to protect woodland and wetland areas, wildlife habitat, and areas that are not adequately drained, or which are subject to periodic flooding, where development would result in hazards to health or safety or would deplete or destroy natural resources or be otherwise incompatible with the public welfare.
- B. Principal uses. Principal uses are as follows:
 - Agricultural uses, provided that they do not involve extension of cultivated areas or extension of or creation of new drainage systems and further provided that they do not substantially disturb or impair the natural fauna, flora, topography or water regimen
 - Botanical gardens and arboretums
 - Fairgrounds
 - Forest and game management
 - Forest reserves (wilderness and wildlife areas)
 - Golf courses without country club facilities

Historic and monument sites
Ice skating
Parks, general recreation
Parks, leisure and ornamental
Picnicking areas
Play fields or athletic fields
Play lots or tot lots
Recreation centers
Swimming pools
Tennis courts

- C. Accessory uses. Accessory uses are as follows: buildings or structures accessory to the permitted use, provided that review has been done and approval has been given by the Park and Recreation Commission and Plan Commission.
- D. Conditional uses. Conditional uses are as follows:
- (1) Utilities.
 - (2) Drive-in movies.
 - (3) Archery ranges.
 - (4) Essential services.
 - (5) Golf courses with country club/restaurant facilities.
 - (6) Golf driving ranges.
 - (7) Miniature golf.
 - (8) Skeet, trap, and rifle shooting ranges, provided that the firing of rifle arms and shotgun slugs shall not be permitted directly toward or over any highway, road, or navigable water, toward any building or structure or toward any population concentration within 1 1/2 miles of the site.
- E. Lot area and width. Lot area and width requirements are as follows: lots in the P-C Parks and Conservancy District shall provide sufficient area for the principal structure and its accessory structures and off-street parking and loading areas as required by Article X of this chapter.
- F. Building height. Building height requirements are as follows: no building shall exceed 35 feet in height.
- G. Yards. Yard requirements are as follows:
- (1) Minimum street yard: 40 feet.
 - (2) Minimum side yard: 40 feet.
 - (3) Minimum rear yard: 40 feet.

§ 430-48. A-1 Agricultural Holding District.

- A. Intent. The A-1 Agricultural Holding District is intended to provide for the continuation of general farming and related uses in those areas of the City that are not yet committed to urban development. It is further intended for this district to protect lands contained therein from urban development until their orderly transition into urban-oriented districts is required.

B. Principal uses. Principal uses are as follows:

Apiculture
Dairying
Floriculture
Forestry
General farming
Grazing
Green houses
Hatcheries
Horticulture
Livestock raising
Nurseries
Orchards
Paddocks
Pasturage
Poultry raising
Stables
Truck farming
Viticulture

C. Permitted accessory uses. Permitted accessory uses are as follows: farm dwellings for those resident owners and laborers actually engaged in the principal permitted uses and nonfarm residential development as permitted under Chapter **425**, Subdivision of Land, § **425-20**. Accessory uses shall comply with the provisions of the R-A Single-Family Residence District. [Amended 2-13-2006 by Ord. No. 979-2006; 10-9-2006 by Ord. No. 990-2006]

D. Conditional uses. Conditional uses are as follows:
[Added by Ord. No. 887-99]

- (1) Governmental and cultural uses.
- (2) Public emergency shelters.
- (3) Parks.
- (4) Playgrounds.
- (5) Utilities.
- (6) Cemeteries.
- (7) Animal confinement facilities.

E. Lot area and width. Lot area and width requirements are as follows:
[Amended 2-13-2006 by Ord. No. 979-2006; 10-9-2006 by Ord. No. 990-2006]

- (1) Maximum lot area: two acres per applicable provisions contained in Chapter **425**, § **425-20**.
- (2) Minimum lot width: 200 feet.

F. Building height. Building height requirements are as follows: maximum building height of 50 feet.

G. Yards. Yard requirements are as follows:

- (1) Minimum street yard: 67 feet.
 - (2) Minimum rear yard: 50 feet.
 - (3) Minimum side yard: 50 feet.
- H. Site plans. Every builder of any building hereafter erected or structurally altered shall, before a building permit is issued, present detailed site plans pertaining to the proposed structure to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise endanger the public health or safety or substantially diminish or impair values within the neighborhood.